



## Land Development Application

City of Newburgh, New York, Planning Board

123 Grand Street, Newburgh, New York 12550

Phone: (845) 569-7400

Fax: (845) 569-0096

[www.cityofnewburgh-ny.gov](http://www.cityofnewburgh-ny.gov)

Check all that apply:

(\*Supplemental submissions are necessary. See checklists above.)

### Site Plan\*

- Preliminary  
 Final  
 Modification  
 Extension of Time

Special Use Permit\*

### Subdivision\*

- Preliminary  
 Final  
 Modification  
 Extension of Time  
 Resubdivision

### State Environmental Quality Review Act (SEQRA)\*

- Part I of the *Short* Environmental Assessment Form.  
 Entire *Short* Environmental Assessment Form.  
 Full Environmental Assessment Form.

*Environmental Assessment Forms available from City of Newburgh Planning Board or online at <http://www.dec.state.ny.us/website/dcs/seqr/seqrdld.html>*

*Submissions will not be accepted without use of the NYS DEC EAF mapper, available at <http://www.dec.ny.gov/eafmapper/>*

### Chapter 269 Coastal Consistency Determination\*

Coastal Assessment Form

### GML 239 Determination

Submission required

Other: \_\_\_\_\_  
 Other: \_\_\_\_\_

### For Internal Use Only:

Application Receipt Date:	Index No.:
	Special Permit No.:
	Rect. No.:
	Meeting Date:
	Public Hearing:
	Action Date:
	P.B. Fee Paid:
	Escrow Fee Paid:



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<input checked="" type="checkbox"/>	<b>Completed Land Development Application and Primary Checklist items.</b>
<b>Pre-Application Process.</b>	
<input type="checkbox"/>	<b>Technical Workshop</b> to review Site Plan Application
<input type="checkbox"/>	<b>Preliminary Plat Review</b> at Planning Board Meeting
<input type="checkbox"/>	<b>Preliminary Conference</b> with Building Inspector to review Special Use Permit Application
<b>Fees.</b> All applications must include the appropriate fee, by check, made payable to "City of Newburgh".	
<input type="checkbox"/>	<b>Subdivision Fee</b> Parks, open space, and minor subdivisions: \$0.05 per square foot of subdivided area Lot line change and two-lot subdivision with existing residential structure: \$200 Minor subdivision of 4 lots or fewer: \$200 Major subdivision of 5 lots or more: \$200, plus \$50 per lot Inspection of public improvements: 3% of the value of bonded improvements Public hearing: \$150, plus \$50 for obtaining a public hearing notification list from the City Assessor
<input checked="" type="checkbox"/>	<b>Site Plan</b> <i>check # 1074 02.13.16</i> Residential (4 or fewer dwelling units): \$200 Residential (5 or more dwelling units): \$200, plus \$100 per unit Commercial: \$1,000, plus \$100 per 1,000 square feet of floor area Inspection of public improvements: 2% of the value of bonded improvements
<input type="checkbox"/>	<b>Recreation fee in lieu of land (at Board's discretion)</b> As determined by the Planning Board
<input type="checkbox"/>	<b>Special Use Permit</b> Residential: \$150 Commercial: \$250
<input type="checkbox"/>	<b>Public Hearing Fee</b> \$150, plus \$50.00 for obtaining a public hearing notification from the City Assessor
<input type="checkbox"/>	<b>Escrow Fee for professional services required in review process</b> The application shall, in addition to any fees established pursuant to Chapter 266 and in addition to any fees established by Chapter 158 of this Code, pay the actual cost of the following services which may be reasonably required by the Planning Board in the processing of the application: Engineering Services; Review during construction, inspection services; Planning services.  The sums of money deposited pursuant to this subsection shall be placed in an escrow account to cover such costs, which account shall be drawn against in the course of the review of the particular application. Initial deposit shall be \$500. Subsequent deposits shall be required as needed. Any amount remaining in the account on completion of review shall be refunded.
<input type="checkbox"/>	<b>Affidavit of Public Hearing Notice</b>



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	<p>Submit affidavit showing notice mailed to adjacent property owners and published in newspaper. See <i>Land Development Application</i> Process above for specific details.</p>
<input type="checkbox"/>	<p><b>For Site Plans: Submit Two (2) Hardcopies</b> The applicant must complete the separate site plan checklist in the <i>Land Development Application</i> below and include that information in the submitted site plan. All applicants must submit two (2) hardcopies of required plans with their application.</p>
<input type="checkbox"/>	<p><b>For Subdivision Plats: Submit one (1) Original Mylar, One (1) Photographic Mylar, and one (1) Contact Prints of Preliminary Plat</b> The applicant must complete the appropriate subdivision checklist in the <i>Land Development Application</i> below and include that information in the submitted plat. All applicants must submit with their application one (1) original mylar, one (1) photographic mylar at the same scale, and one (1) contact print of the preliminary or final plat at a standard sheet size of 22" by 34" by 44".</p>
<input type="checkbox"/>	<p><b>For Special Use Permits: Three (3) Hardcopies of Site Plan</b> Pursuant to Newburgh City Code a special use permit application must include a site plan, although the Planning Board may waive site plan approval if the special use permit does not involve physical alteration or disturbance on a site. At a minimum, the special use permit application must include a plan showing the size and location of the lot, as well as the location of all buildings and proposed facilities, including access drives, parking areas, and all streets within 200 feet of the lot lines. If required, the applicant must complete the separate site plan checklist in the <i>Land Development Application</i> below and include that information in the submitted site plan. All applicants must submit three (3) hardcopies of required plans with their application. The applicant may submit one plan for multiple special uses on the same parcel(s). Additionally, Code Article XII provide numerous policies, factors, and specific standards for special uses. Special use permit applicants should review these sections in detail when preparing their submittals.</p>
<input type="checkbox"/>	<p><b>Digital Submission.</b> The applicant <i>must</i> provide a complete set of digital plans in .pdf/ .tiff format at 300 dpi/ppi or greater.</p>
<input checked="" type="checkbox"/>	<p><b>Short or Full Environmental Assessment Form.</b> Applicants must complete a SEQRA Form and submit it with their application package. The appropriate SEQRA Form depends on the project's location, type, and size. Consult additional SEQRA guidance online at <a href="http://www.dec.ny.gov/regs/4490.html">http://www.dec.ny.gov/regs/4490.html</a> to determine the appropriate SEQRA Form and select it from the following list:</p> <p><b>Part 1 of the Short Environmental Assessment Forms (Short EAF):</b> Use the Short EAF For Type II Actions listed in 6 NYCRR Section 617.5. Part I of the Short EAF is available at <a href="http://www.dec.ny.gov/permits/6191.html">http://www.dec.ny.gov/permits/6191.html</a>.</p>



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	<p><b>Entire Short Environmental Assessment Form (Short EAF):</b> Use the entire Short EAF for Type I Actions that fall under the threshold contained in Part 617.4 or that are Unlisted Actions. The Short EAF is available at <a href="http://www.dec.ny.gov/permits/6191.html">http://www.dec.ny.gov/permits/6191.html</a>.</p> <p><b>Full Environmental Assessment Form (Full EAF):</b> Use the Full EAF for applications that exceed any Type I threshold in Part 617.4. of the Full EAF is available at <a href="http://www.dec.ny.gov/permits/6191.html">http://www.dec.ny.gov/permits/6191.html</a>.</p> <p>Note: The City recommends that you use the EAF Mapper Application (<a href="http://www.dec.ny.gov/eafmapper/">www.dec.ny.gov/eafmapper/</a>) that will generate partially completed EAFs.</p>
<input type="checkbox"/>	<p><b>Coastal Assessment Form (CAF).</b> <i>Not in boundary</i></p> <p>A completed CAF is required for properties located inside the City's Waterfront Revitalization Area Boundary. Consult the following map to determine whether subject property falls within this boundary: <a href="http://docs.dos.ny.gov/communitieswaterfronts/LWRP/Newburgh_C/Original/NewburghSI.pdf">http://docs.dos.ny.gov/communitieswaterfronts/LWRP/Newburgh_C/Original/NewburghSI.pdf</a>.</p> <p>If a CAF is required, the applicant must review Code Chapter 159 at <a href="http://ecode360.com/28160802">http://ecode360.com/28160802</a>, complete the CAF, and submit the completed CAF with the application package. The Planning Board will make a referral to the Conservation Advisory Council for an Advisory Opinion.</p>
<input type="checkbox"/>	<p><b>Certificate of Appropriateness (COA)</b> <i>Application submitted 03.15.14</i></p> <p>If the subject property falls within the East End Historic District or Colonial Terraces Architectural Design District, the applicant must obtain a COA from the Architectural Review Commission (ARC) for any exterior alteration, restoration, reconstruction, demolition, new construction, or moving of a landmark. In addition, a COA is required for any material change in the appearance of such a property, its light fixtures, signs, sidewalks, fences, steps, paving, or other exterior elements visible from the public street or alley that affect the appearance and cohesiveness of a district and its designated properties. To determine whether the subject property falls within one of these districts, consult the ARC's district maps at: <a href="http://www.cityofnewburgh-ny.gov/architectural-review-commission">http://www.cityofnewburgh-ny.gov/architectural-review-commission</a>.</p> <p>If a COA is required, the applicant must review Code Chapter 300, Article V (available at <a href="http://ecode360.com/10875977">http://ecode360.com/10875977</a>).</p> <p>Additionally, the applicant must consult the Design Guidelines for Newburgh's East End Historic District (available at <a href="http://www.cityofnewburgh-ny.gov/sites/newburghny/files/file/file/eehd-designguide2008.pdf">http://www.cityofnewburgh-ny.gov/sites/newburghny/files/file/file/eehd-designguide2008.pdf</a>) or consult the Colonial Terraces Design Guidelines (available at <a href="http://www.cityofnewburgh-ny.gov/sites/newburghny/files/file/file/colonialterraceguidelines.pdf">http://www.cityofnewburgh-ny.gov/sites/newburghny/files/file/file/colonialterraceguidelines.pdf</a>).</p>



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The applicant must complete the COA application (available at <a href="http://www.cityofnewburgh-ny.gov/sites/newburghny/files/file/file/arc-application-0409.pdf">http://www.cityofnewburgh-ny.gov/sites/newburghny/files/file/file/arc-application-0409.pdf</a> ) and submit it with the application package.
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### D. FINAL CHECKLIST

For a formal application for site plan approval, a special use permit, or a final subdivision plat, the applicant must submit to the Land Use Board Secretary an application package containing the following *Final Checklist* items, as well as a completed *Land Development Application* (see below). **The deadline for submitting an application package for an upcoming Planning Board Meeting is 12:00 PM on the first Friday of the month. Application packages not received by this day and time will not be placed on the agenda. NO EXCEPTIONS.**

- |                                     |   |
|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <b>Seven (7) Copies of Completed Land Development Application and Final Checklist Items OR one (1) Original Copy plus one (1) digital set of application materials in .pdf format on a CD.</b>  |
| <input checked="" type="checkbox"/> | <b>For Site Plans: Thirteen (13) Hardcopies OR one (1) Original Copy plus one (1) digital set of application materials in .pdf/ .tiff format on a CD.</b><br>The applicant must complete the separate site plan checklist in the <i>Land Development Application</i> below and include that information in their site plan. All applicants must submit thirteen (13) hardcopies of required plans with their application.   |
| <input type="checkbox"/>            | <b>For Subdivision Plats: One (1) Original Mylar, One (1) Photographic Mylar, and either five (5) Contact Prints of Preliminary Plat OR one (1) digital set of Preliminary Plat in .pdf/ .tiff format on a CD.</b><br>The applicant must complete the appropriate subdivision checklist in the <i>Land Development Application</i> below and include that information in their plat. All applicants must submit with their application one (1) original mylar, one (1) photographic mylar at the same scale, and five (5) contact prints of the preliminary or final plat at a standard sheet size of 22" by 34" by 44".  |
| <input type="checkbox"/>            | <b>For Special Use Permits: Thirteen (13) Hardcopies of Site Plan OR one (1) Original Copy plus one (1) digital set of application materials in .pdf/ .tiff format on a CD.</b><br>Pursuant to Newburgh City Code a special use permit application must include a site plan, although the Planning Board may waive site plan approval if the special use permit does not involve physical alteration or disturbance on a site. At a minimum, the special use permit application must include a plan showing the size and location of the lot, as well as the location of all buildings and proposed facilities, including access drives, parking areas, and all streets within 200 feet of the lot lines. If required, the applicant must complete the separate site plan checklist in the <i>Land Development Application</i> below and include that information in the submitted site |



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plan. All applicants must submit six (6) hardcopies of required plans with their application. The applicant may submit one plan for multiple special uses on the same parcel(s). Additionally, Code Article XII provide numerous policies, factors, and specific standards for special uses. Special use permit applicants should review these sections in detail when preparing their submittals.



**Digital Submission.** For digital submissions, documents must be in .pdf/ .tiff format at 300 dpi/ppi or greater.



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### PART I – General Information:

A. Project Name: Leander Brown House

B. Applicant: (If Applicant is not owner, Owner must complete attached proxy statement, in Part VI of this form, confirming authorization of Applicant.)

Name:	Beth Sigler Sigler Henderson Studio LLC				
Address:	14 Stone St.				
City:	Cold Spring	State:	NY	Zip:	10516
Phone:	845. 372. 3498				
Fax:					
Email:	beth@siglerhendersonstudio.com				

C. Property Owner of Record (if different from Applicant):

Name:	183 Liberty LLC - Joao Araujo Managing Member				
Address:	66 N. Rochdale Ave.				
City:	Roosevelt	State:	NJ	Zip:	08555-7013
Phone:	917. 650. 4423				
Fax:					
Email:	john@aosprojects.co				

D. Person Preparing Plan or Plat:

Name:	Beth Sigler Sigler Henderson Studio LLC				
Address:	14 Stone St.				
City:	Cold Spring	State:	NY	Zip:	10516
Phone:	845. 372. 3498				
Fax:					
Email:	beth@siglerhendersonstudio.com				

E. Applicant Representative: (Applicant must complete attached proxy statement, in Part VII of this form, confirming authorization of Applicant Representative.)

Name:					
Relationship to Applicant:					
Firm:					
Address:					
City:		State:		Zip:	
Phone:					
Fax:					
Email:					



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### F. Property Interest of Applicant (check one):

- Owner. (include Owner's Affidavit attached)
- Purchaser or holder of an option to purchase wherein the purchase agreement or option are binding and subject to cancellation only if the Planning Board does not approve that for which the application is made. (Applicant must attach a copy of contract.)
- Holder of a lease for one (1) year or more from the date of application. (Applicant must attach copy of lease.)
- A verified agent of one (1) of the above. (include Owner's Proxy Statement attached)

### G. Property Information:

Street Address:	183 Liberty Street				
City:	Newburgh	State:	NY	Zip:	12550
Location:	On the <u>West</u> side of <u>Liberty</u> (Street)				
	<u>100</u> feet <u>South</u> (Direction)				
	of <u>First Street</u> (Street)				
Tax Map Designation:	Section:	30	Block:	5	Lot(s): 6
	Section:		Block:		Lot(s):
	Section:		Block:		Lot(s):
Tax Map No.:	30				
Zoning District:	Downtown Neighborhood				

### H. List all contiguous holdings in the same ownership:

Section:		Block:		Lot(s):	
Section:		Block:		Lot(s):	
Section:		Block:		Lot(s):	



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### I. Regulatory Compliance – Application Checklist for Permits

To facilitate the approval process, the City of Newburgh requests that applicants indicate below all permit applications that are **pending**, have been **approved** or have been **rejected** for the subject property. The following checklist will help familiarize City authorities with the project that is the subject of the current application. Please indicate all applications submitted for the property in question, including those that were prepared for projects separate from the current one. Intentionally omitting any items from this checklist is cause for delay or rejection of the application(s) being considered.

Board, Commission or Inspector	Date(s) of Prior Approval(s)	City Identifier Reference(s)	Previous Action(s) on Application(s)	New Permit(s) Applied for
Zoning Board of Appeals				<input type="checkbox"/>
Architectural Review Commission	submitted 08.15.16			<input type="checkbox"/>
Building Inspector	submitted 07.22.16			<input type="checkbox"/>
City Engineer				<input type="checkbox"/>
Public Works				<input type="checkbox"/>
Orange County				<input type="checkbox"/>
Other:				<input type="checkbox"/>



## Land Development Application – Site Plan

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### PART II – Site Plan Submission Requirements

*A site plan application must include sufficient plans and descriptive information. Site plans must be prepared by a licensed professional engineer, architect, or landscape architect and must include information from the following checklist, provided to help guide the applicant's site plan preparation. In addition to this checklist, all site plan applicants should consult the required site plan information in Newburgh City Code § 300 Article XI and site plan review criteria in § 300-89. The City of Newburgh Planning Board may require additional material or revisions prior to granting approval.*

#### Check

##### Box

##### Requirement

- VICINITY MAP ( $\geq 1,000$  feet to the inch) V-02
- EXISTING CONDITIONS MAP survey + V-04
- FIELD SURVEY OF BOUNDARY LINES (certified by licensed surveyor) 02.2.2016
- SITE PLAN (drawn to scale on appropriate-sized sheet of paper; include the following information on the site plan and all sheets submitted in site plan application):
  - PROJECT NAME
  - SECTION, BLOCK, LOT NUMBER
  - STREET NAMES
  - PROJECT SITE BOUNDARIES
  - FIRE LANES N/A
  - DATE OF PLAN
  - NORTH ARROW
  - SCALE OF PLAN
  - OWNER'S NAME AND ADDRESS
  - DEVELOPER'S NAME AND ADDRESS
  - SEAL OF ENGINEER/ARCHITECT/LANDSCAPE ARCHITECT
  - OWNER'S LETTER OF AUTHORIZATION (if applicant is not the owner) submitter 08.19.16
  - NAMES OF ALL ADJACENT PROPERTY OWNERS WITHIN 500 FT OF PERIMETER
  - ZONING/SCHOOL/OVERLAY/SPECIAL DISTRICT BOUNDARIES WITHIN 500 FT OF PERIMETER
  - PROPERTY BOUNDARIES
  - BUILDING/SETBACK BOUNDARIES IF DIFFERENT FROM ZONING REQUIREMENTS
  - EXISTING STREET AND LOT LINES FROM CITY'S OFFICIAL/TAX MAP V-02
  - EASEMENTS N/A
  - AREAS DEDICATED TO PUBLIC USE N/A
- LOCATION, USE & DIMENSIONS OF EXISTING AND PROPOSED STRUCTURES
- LOCATION, HEIGHT, SIZE, MATERIALS & DESIGN OF ALL PROPOSED SIGNS N/A



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- TRAFFIC FLOW PATTERNS, ENTRANCES, EXITS, *N/A*
- LOADING/UNLOADING AREAS, CURB CUTS ON AND WITHIN 100 FT OF SITE *N/A*
- LOCATION, SIZE, DIMENSIONS, ACCESS, EGRESS, CIRCULATION PATTERNS, (DESIGN, HANDICAPPED ACCESS & SIGNS FOR OFF STREET PARKING AREAS) *N/A*
- LOCATION OF PRESENT/PROPOSED SEWAGE LINES, SEPTIC SYSTEMS
- LOCATION OF PRESENT & PROPOSED WATER SUPPLY SYSTEM
- LOCATION OF PRESENT & PROPOSED TELEPHONE, CABLE, ELECTRICAL SYSTEMS
- LOCATION OF PRESENT & PROPOSED STORM DRAINAGE SYSTEM
- LOCATION OF ALL OTHER PRESENT & PROPOSED OVERHEAD/UNDERGROUND UTILITY SYSTEMS
- EROSION AND SEDIMENTATION CONTROL PLAN *N/A - No Excavation Existing Building*
- EXISTING & PROPOSED TOPOGRAPHY *N/A*
- FEMA FLOODPLAIN BOUNDARY LOCATIONS (include additional information if parcel is within one-hundred-year floodplain)
- LIGHTING PLAN
- LANDSCAPING/PLANTING/GRADING PLAN
- NEW CONSTRUCTION/STRUCTURE ALTERATIONS TABLE (containing the following information):
  - USES INTENDED FOR STRUCTURE (give estimated structure area for each use)
  - ESTIMATED NUMBER OF EMPLOYEES *N/A*
  - MAXIMUM SEATING CAPACITY *N/A*
  - NUMBER OF PARKING SPACES EXISTING AND REQUIRED FOR USE *N/A*
- ELEVATIONS (scale: 1/4 inch = 1 ft) & DESIGN FEATURES OF PROPOSED/ALTERED/EXPANDED EXTERIOR FAÇADES
- SOIL LOGS/PERCOLATION TEST RESULTS/STORMWATER RUNOFF CALCULATIONS (if requested)
- DISPOSITION PLANS FOR CONSTRUCTION/DEMO WASTE
- SEQRA SHORT EAF OR DRAFT EIS
- CULTURAL RESOURCE SURVEY (if appropriate)
- COMPLETE PROPOSED DEVELOPMENT (if applicant wishes to develop in stages)
- HAZARDOUS MATERIALS ASSOCIATED WITH PROPOSED INDUSTRIAL USE
- USE, STORAGE, TREATMENT & DISPOSAL OF HAZARDOUS MATERIALS
- VIEWSHED ANALYSES (only for WG, PWD, and part of DN Districts, as well as additional locations the Planning Board identifies during site plan review process) *Existing buildings in EAFD*
- OTHER MATERIALS REQUESTED BY PLANNING BOARD



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### Sample Format:



Plan shall include a table, similar to the one below, showing the relationship indicated for relevant zoning limits and requirements:

Zoning Limit	Variance Required?	Variance Submitted?	Variance Type Required? (If Any)
Number of Parking Spaces	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Lot Area/Dwelling	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Lot Size	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Buffer Strip	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Building Height	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Front Yard	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Side Yard	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Other:	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Other:	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	
Other:	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No	



The site plan submitted to the Planning Board for its approval shall carry the following endorsement and acknowledgement:

Approved by Resolution \_\_\_\_\_ of the Planning Board of the City of Newburgh, New York, on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, subject to all requirements and conditions of said Resolution. Any change, erasure, modification or revision of this plan, as approved, shall void this approval.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
Chairman

\_\_\_\_\_  
Secretary



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**SITE PLAN PREPARER'S ACKNOWLEDGEMENT:**

This site plan has been prepared in accordance with this checklist and the City of Newburgh Laws, to the best of my knowledge.

By: Beth Sigler *Beth Sigler* (Licensed Professional)

Date: 07.07.2016

**ALL FOLDED PLANS SHALL BE FOLDED WITH THE TITLE BLOCK AND STAMP OF APPROVAL EXPOSED**

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Sponsor Information.**

Name of Action or Project: The Leander Brown House		
Project Location (describe, and attach a general location map): 183 Liberty Street Newburgh NY, 12550 is located south of First Street in the first city block north of Broadway, Newburgh's main thoroughfare.		
Brief Description of Proposed Action (include purpose or need): The existing structure will be renovated with no change to the footprint, height, bulk or grading of the site. The exterior of the structure will be renovated and restored to preserve the historic characteristics. Paint will be removed from the masonry using an appropriate paint remover and the masonry will be repointed using a mortar mix that matches the original in composition and color. The wood and metal cornice and decorative frieze will be repaired and repainted. Original elements of the front porch will be retained and the remainder will be rebuilt in the original configuration. All the windows will be replaced with energy efficient IGUs with profiles similar to the original windows. The stair is the only interior architectural feature remaining and will be repaired and repainted. The configuration of the stair hall will be retained. New interior partitions will be constructed. Each floor will contain a 1-bedroom apartment with a new kitchen with new appliances and a new bathroom with new fixtures and fittings. Complete new plumbing, sprinkler, electrical and heating systems will be installed in the building. A common laundry room with also be constructed and equipped. We are seeking a Change of Occupancy from a 3-family dwelling unit to a 4-family dwelling unit.		
Name of Applicant/Sponsor: Beth Sigler (Architect) Sigler Henderson Studio		Telephone: (845) 372-3498 E-Mail: beth@siglerhendersonstudio.com
Address: 14 Stone Street		
City/PO: Cold Spring	State: NY	Zip Code: 10516
Project Contact (if not same as sponsor; give name and title/role):		Telephone: E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): 183 Liberty LLC Joao Araujo Managing Member		Telephone: (917) 650-4423 E-Mail: john@aosprojects.co
Address: 66N Rochdale Avenue		
City/PO: Roosevelt	State: NJ	Zip Code: 08555-7013

**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
c. City Council, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Architectural Review Commission Certificates of Appropriateness	Application submitted 08/15/2016
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	SHPO Certification of Part 1 and 2	HPCA Part 1 submitted 08/08/2016 HPCA Part 2 projected 10/01/2016
h. Federal agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NPS Certification of Part 1 and 2	HPCA Part 1 submitted 08/08/2016 HPCA Part 2 projected 10/01/2016
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?  Yes  No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part I

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?  Yes  No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?  Yes  No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
Downtown Neighborhood Form-Based Zoning District Overlay

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? Newburgh Enlarged City School District

b. What police or other public protection forces serve the project site?  
City of Newburgh Police Department

c. Which fire protection and emergency medical services serve the project site?  
City of Newburgh Fire Department and St Luke's Cornwall Hospital

d. What parks serve the project site?  
Audrey Carey Park, Broadway Park, Courthouse Square, Downing Park and Washington's Headquarters, The Boat Launch at the foot of Washington Street and UNICO Park

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? 4 Family Residential

b. a. Total acreage of the site of the proposed action? 0.0574 acres  
b. Total acreage to be physically disturbed? 0 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 0.0574 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: 1 dwelling unit

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
\_\_\_\_\_

ii. Is a cluster/conservation layout proposed?  Yes  No

iii. Number of lots proposed? \_\_\_\_\_  
iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will proposed action be constructed in multiple phases?  Yes  No

i. If No, anticipated period of construction: 9 months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_
- Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year
- Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year
- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	One Family	Two Family	Three Family	Multiple Family (four or more)
Initial Phase	_____	_____	_____	4
At completion of all phases	_____	_____	_____	4

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,  
 i. Total number of structures \_\_\_\_\_  
 ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length  
 iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,  
 i. Purpose of the impoundment: \_\_\_\_\_  
 ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_  
 iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_  
 iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres  
 v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length  
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:  
 i. What is the purpose of the excavation or dredging? \_\_\_\_\_  
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?  
 • Volume (specify tons or cubic yards): \_\_\_\_\_  
 • Over what duration of time? \_\_\_\_\_  
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_  
 iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres  
 vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres  
 vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet  
 viii. Will the excavation require blasting?  Yes  No  
 ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:  
 i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will proposed action cause or result in disturbance to bottom sediments?  Yes  No  
If Yes, describe: \_\_\_\_\_

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No  
If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: City of Newburgh
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No  
If Yes:

i. Total anticipated liquid waste generation per day: 160 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No  
If Yes:

- Name of wastewater treatment plant to be used: City of Newburgh Wastewater Treatment Plant
- Name of district: Community/ Public
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

Yes  No  
 Yes  No

• Do existing sewer lines serve the project site?  
 • Will line extension within an existing district be necessary to serve the project?  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)  
 ii. Describe types of new point sources. \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

• Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

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vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade to, an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>
--	---

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No

If yes:

i. Provide details including sources, time of day and duration: \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
Describe: \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
(7) LED fixtures on the existing structure, under 20' above grade with shades and directed straight down

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
Describe: \_\_\_\_\_

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o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No

If Yes:

i. Product(s) to be stored \_\_\_\_\_

ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)

iii. Generally describe proposed storage facilities: \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No

If Yes:

i. Describe proposed treatment(s): \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)
- Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: \_\_\_\_\_
- Operation: \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: \_\_\_\_\_
- Operation: \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

---

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

\_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

\_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

\_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

\_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

\_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)

Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

\_\_\_\_\_

---

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.0287	0.0287	0
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
 i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
 If Yes,  
 i. Identify Facilities:  
St Lukes Cornwall Hospital, Newburgh Free Library, Newburgh Performing Arts Academy, Saint Patrick's School, SUNY Orange Newburgh Campus

e. Does the project site contain an existing dam?  Yes  No  
 If Yes:  
 i. Dimensions of the dam and impoundment:  
 • Dam height: \_\_\_\_\_ feet  
 • Dam length: \_\_\_\_\_ feet  
 • Surface area: \_\_\_\_\_ acres  
 • Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
 ii. Dam's existing hazard classification: \_\_\_\_\_  
 iii. Provide date and summarize results of last inspection:  
 \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
 If Yes:  
 i. Has the facility been formally closed?  Yes  No  
 • If yes, cite sources/documentation: \_\_\_\_\_  
 ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
 \_\_\_\_\_  
 iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
 If Yes:  
 i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
 \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
 If Yes:  
 i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
 ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
 iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
 If yes, provide DEC ID number(s): 546031 , 336042 , 336055  
 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
546031 Phase 2 of the remedial project started in 2011, and is anticipated to be completed in 2017. Dredging was completed in fall 2015; habitat reconstruction is ongoing. 336042 largely completed in the fall of 2010, Excavation of the last remaining portion of area A began in late 2015. 336055 Remediation at the site is complete. Residual contamination in the soil and groundwater is being managed under a Site Management Plan.

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

---

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ N/A feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site: N/A no excavation \_\_\_\_\_ %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ N/A feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: 50 % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: 100 % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

---

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

---

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100 year Floodplain?  Yes  No

k. Is the project site in the 500 year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: _____ N/A Dense Urban Site _____ _____	
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes:	
<i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____	
<i>ii.</i> Source(s) of description or evaluation: _____	
<i>iii.</i> Extent of community/habitat:	
<ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If yes, give a brief description of how the proposed action may affect that use: _____ _____	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes:	
<i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span> If Yes:	
<i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____	

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input checked="" type="checkbox"/> Historic Building or District</p> <p>ii. Name: <u>East End Historic District, US Post Office--Newburgh</u></p> <p>iii. Brief description of attributes on which listing is based:  <u>Pivotal Building in East End Historic District, 1890 Queen Anne Style masonry 3-story house attributed to Newburgh architect Frank Estabrook.</u></p>
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p>
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe possible resource(s): _____</p> <p>ii. Basis for identification: _____</p>
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Identify resource: <u>East End Historic District</u></p> <p>ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): <u>Numerous heritage Site are located in the EEHD including Washington's Headquarters</u></p> <p>iii. Distance between project and resource: _____ <u>5</u> miles.</p>
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Identify the name of the river and its designation: _____</p> <p>ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

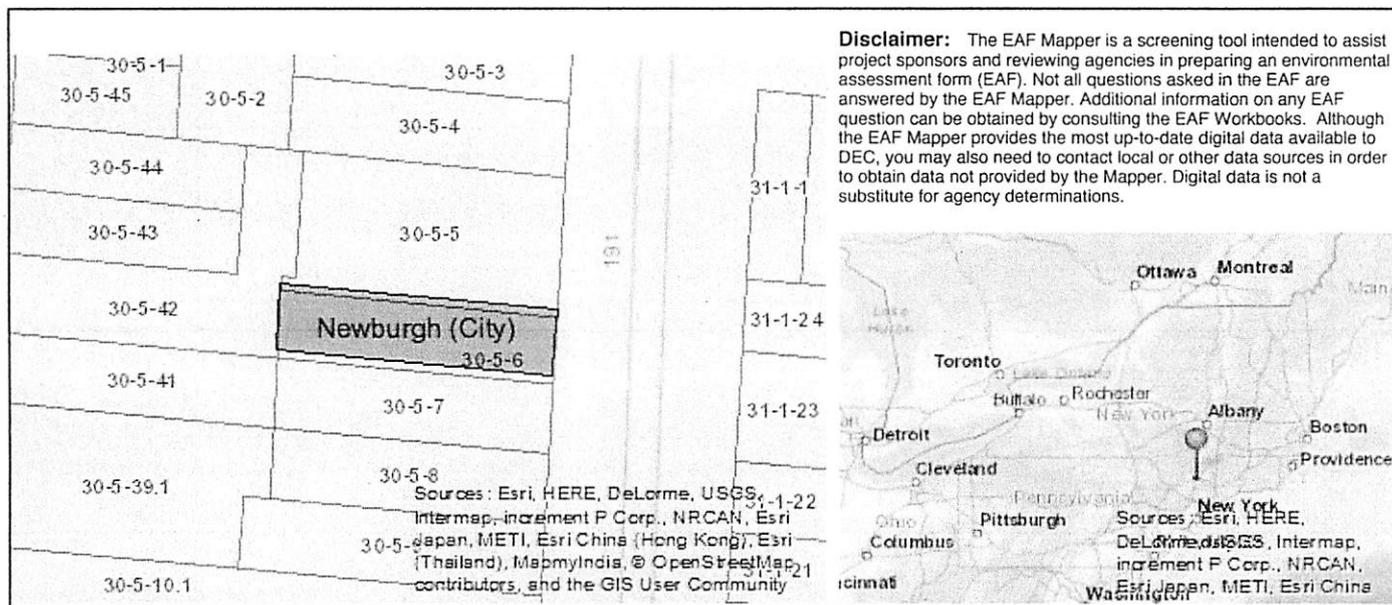
**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Beth Sigler Date 09/09/2016

Signature \_\_\_\_\_ Title \_\_\_\_\_

**PRINT FORM**



B.i.i [Coastal or Waterfront Area]	Yes
B.i.ii [Local Waterfront Revitalization Area]	Yes
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	546031 , 336042 , 336055
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes

E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National Register of Historic Places]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National Register of Historic Places - East End Historic District, US Post Office--Newburgh Name]	
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

**SCOPE OF WORK**

ALTERATION TYPE 3 FILED FOR EXISTING 3 FAMILY BUILDING  
EXISTING BUILDING CODE OF NEW YORK STATE

RECONSTRUCTION OF FRONT PORCH  
NEW WINDOWS, INTERIOR PARTITIONS, FINISHES, 4 KITCHENS, 4 BATHROOMS  
NEW MEP SYSTEMS AND SPRINKLERS THROUGHOUT

CHANGE OF OCCUPANCY FROM 3-FAMILY DWELLING UNIT TO 4-FAMILY DWELLING UNIT  
4-FAMILY DWELLING PERMITTED PENDING SITE PLAN REVIEW P\* ARTICLE XV 300-129)

**BUILDING CLASSIFICATION STATEMENT**

USE AND OCCUPANCY CLASSIFICATION R-2  
TYPE OF CONSTRUCTION TYPE III  
FIRE PARTITIONS (VERTICAL SEPARATION) ½ HOUR W/ AUTOMATIC SPRINKLER SYSTEM  
FIRE RESISTANCE RATING HORIZONTAL ½ HOUR W/ AUTOMATIC SPRINKLER SYSTEM  
SPRINKLERS REQUIRED THROUGHOUT  
NUMBER OF EXITS 1  
ACCESSIBILITY REQUIREMENTS TECHNICALLY INFEASIBLE

**NOTES**

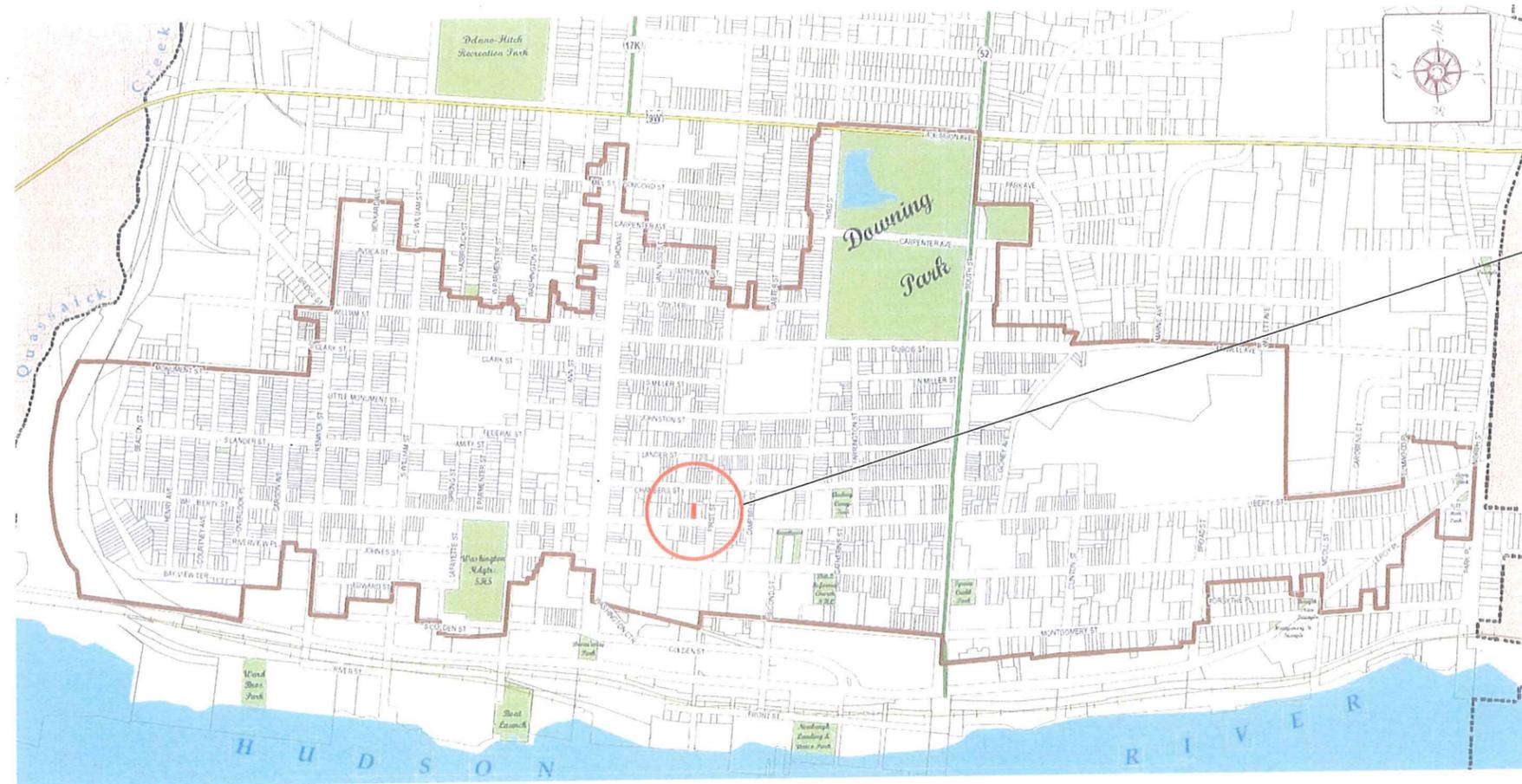
1. NO CHANGE TO THE EXISTING BUILDING HEIGHT,  
FOOTPRINT OR BULK

2. NO CHANGE TO THE EXISTING GRADING.

**DRAWING LIST**

- G-01 DRAWING LIST
- V-01 FEMA MAP
- V-02 VICINITY MAP W/ OVERLY DISTRICTS
- V-03 SITE PLAN
- V-04 NOTES
- A-01 BASEMENT & 1ST FLOOR PLANS  
W/ EXTERIOR LIGHTING
- A-02 2ND & 3RD FLOOR PLANS
- A-03 ROOF PLAN
- A-04 EXTERIOR ELEVATIONS
- A-05 EXTERIOR ELEVATIONS
- A-06 EXTERIOR DETAILS - WALL & SLAB
- ARC-19 EXTERIOR DETAILS - WINDOWS TYPE "A"

- ARC-20 EXTERIOR DETAILS - WINDOWS TYPE "A"
- ARC-21 EXTERIOR DETAILS - WINDOWS TYPE "B"
- ARC-22 EXTERIOR DETAILS - WINDOWS TYPE "B"
- ARC-23 EXTERIOR DETAILS - WINDOWS TYPE "C & D"
- ARC-24 EXTERIOR DETAILS - PORCH
- ARC-25 EXTERIOR DETAILS - PORCH
- SP-01 SPRINKLER DETAILS
- ARC-06 HISTORIC PHOTO
- ARC-07 HISTORIC PHOTOS
- ARC-08 CURRENT PHOTOS
- ARC-09 CURRENT PHOTOS
- ARC-13 CURRENT PHOTOS
- SURVEY



**183 LIBERTY STREET  
TAX MAP ID# 30-5-6**

LOCATED IN THE EAST END HISTORIC DISTRICT  
BUILT CIRCA 1890 CONSIDERED A PIVOTAL BUILDING  
TYPE IN EEHD

ZONING OVERLAY: DOWNTOWN NEIGHBORHOOD

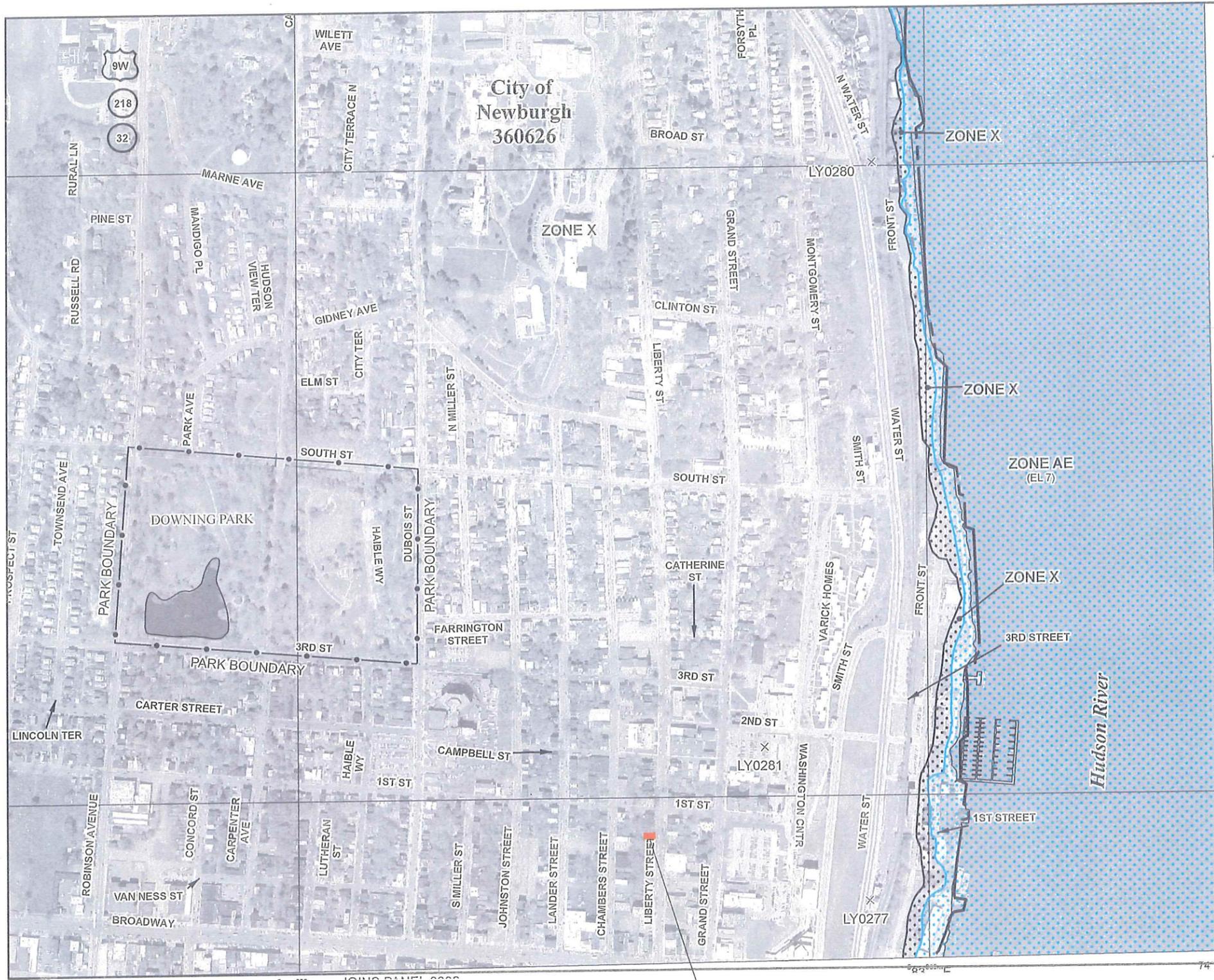


owner: 183 LIBERTY LLC 68N ROCHDALE AVE ROOSEVELT, NJ 08555  
architect: SIGLER HENDERSON STUDIO LLC 14 STONE STREET COLD SPRING, NY PHONE 845.372.3499  
date: 09.09.2016  
Site Plan Review

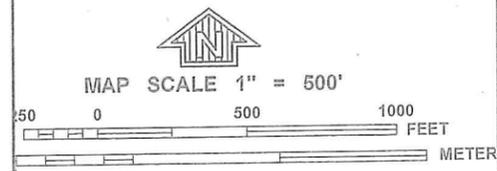
project: LEANDER BROWN HOUSE  
183 Liberty Street, Newburgh, NY 12550

Drawing Key & Zoning Notes  
G-01

# 183 LIBERTY STREET TAX MAP ID# 30-5-6



183 LIBERTY STREET



**NATIONAL FLOOD INSURANCE PROGRAM**

PANEL 0144E

**FIRM**  
FLOOD INSURANCE RATE MAP  
for ORANGE COUNTY, NEW YORK  
(ALL JURISDICTIONS)

CONTAINS:

COMMUNITY	NUMBER
NEWBURGH, CITY OF	360626
NEWBURGH, TOWN OF	360627

PANEL 144 OF 630  
MAP SUFFIX: E  
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

Notice to User: The Map Number shown below should be used when placing map orders. The Community Number shown above should be used on insurance applications for the subject community.

 MAP NUMBER  
36071C0144E

EFFECTIVE DATE  
AUGUST 3, 2009

Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. This map was extracted using F-MIT On-Line. This map does not reflect changes or amendments which may have been made subsequent to the date of the title block. For the latest product information about National Flood Insurance Program flood maps check the FEMA Flood Maps website at [www.fema.gov](http://www.fema.gov)



date: 09.09.2016  
Site Plan Review

owner: 183 LIBERTY LLC 68N ROCHDALE AVE ROOSEVELT, NJ 08555  
architect: SIGLER HENDERSON STUDIO LLC 14 STONE STREET COLD SPRING, NY PHONE 845.372.3499

project: **LEANDER BROWN HOUSE**  
183 Liberty Street, Newburgh, NY 12550

FEMA Map

V-01

# 183 LIBERTY STREET TAX MAP ID# 30-5-6

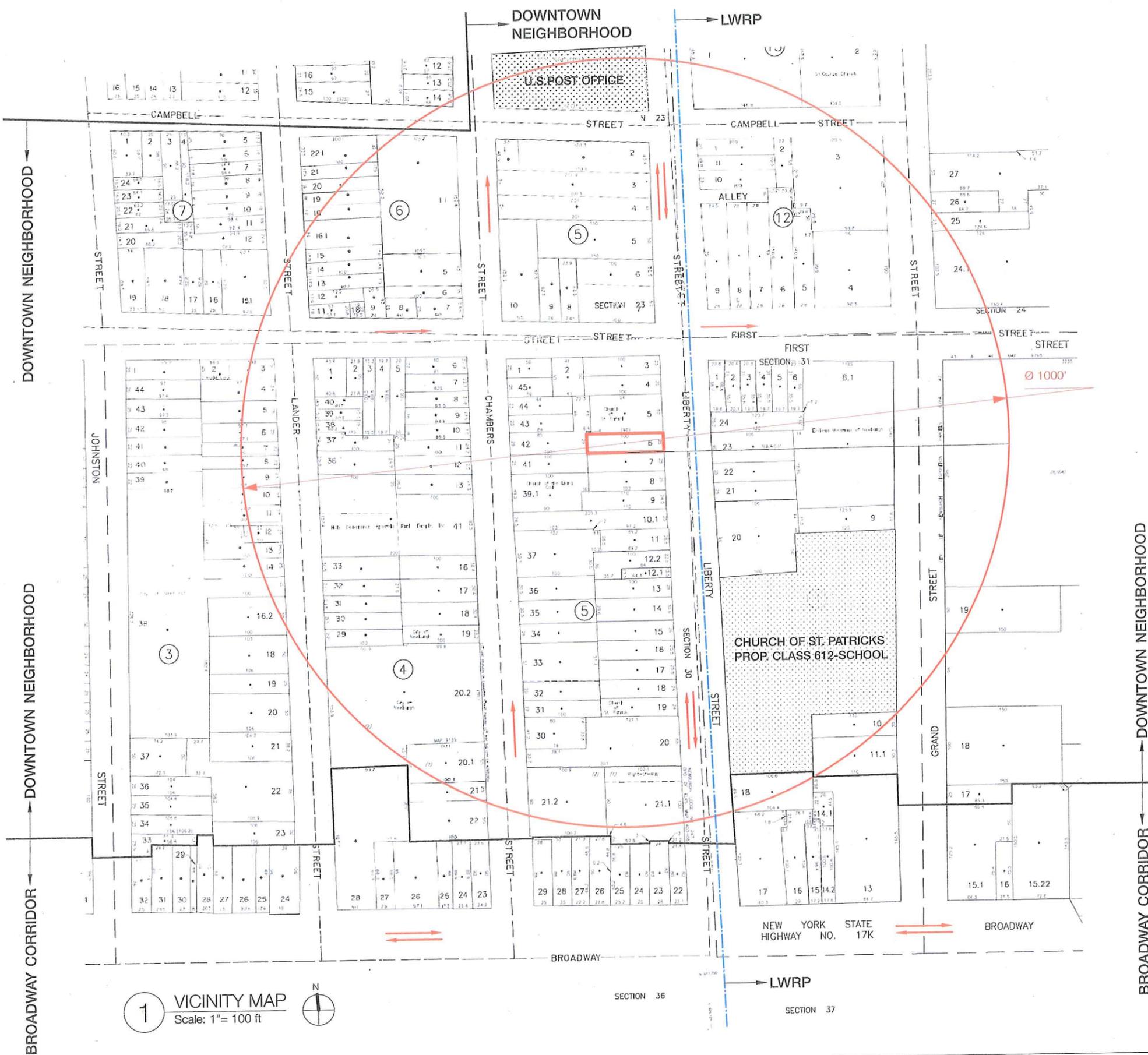
**SURROUNDING PROPERTIES:**  
THE MAJORITY OF PROPERTIES IN A 500' RADIUS OF 183 LIBERTY STREET ARE CLASSIFIED AS:  
PROPERTY CLASS 220 2 FAMILY RESIDENTIAL  
PROPERTY CLASS 230 3 FAMILY RESIDENTIAL

PROPERTY CLASS 612 SCHOOL  
TAX MAP ID# 31-1-19.3

**VIEWSHED ANALYSIS:**  
183 LIBERTY STREET IS AN EXISTING BUILDING IN THE DOWNTOWN NEIGHBORHOOD (DN) DISTRICT BUILT CIRCA 1890

HEIGHT STANDARD IN THE DN DISTRICT 50'-0" MAX.  
THE EXISTING HEIGHT OF THE MAIN ROOF IS 32'-3 1/4"  
THE PEAK OF THE OCTAGONAL ROOF IS 40'-10 3/4"

THE EXISTING STRUCTURE IS A SIMILAR HEIGHT OF THE SURROUNDING BUILDINGS IN THE DISTRICT AND IS PART OF THE HISTORIC FABRIC.



1 VICINITY MAP  
Scale: 1" = 100 ft



owner:  
183 LIBERTY LLC 68N ROCHDALE AVE ROOSEVELT, NJ 08555

project:  
LEANDER BROWN HOUSE  
183 Liberty Street, Newburgh, NY 12550

architect:  
SIGLER HENDERSON STUDIO LLC 14 STONE STREET COLD SPRING, NY PHONE 845.372.3499

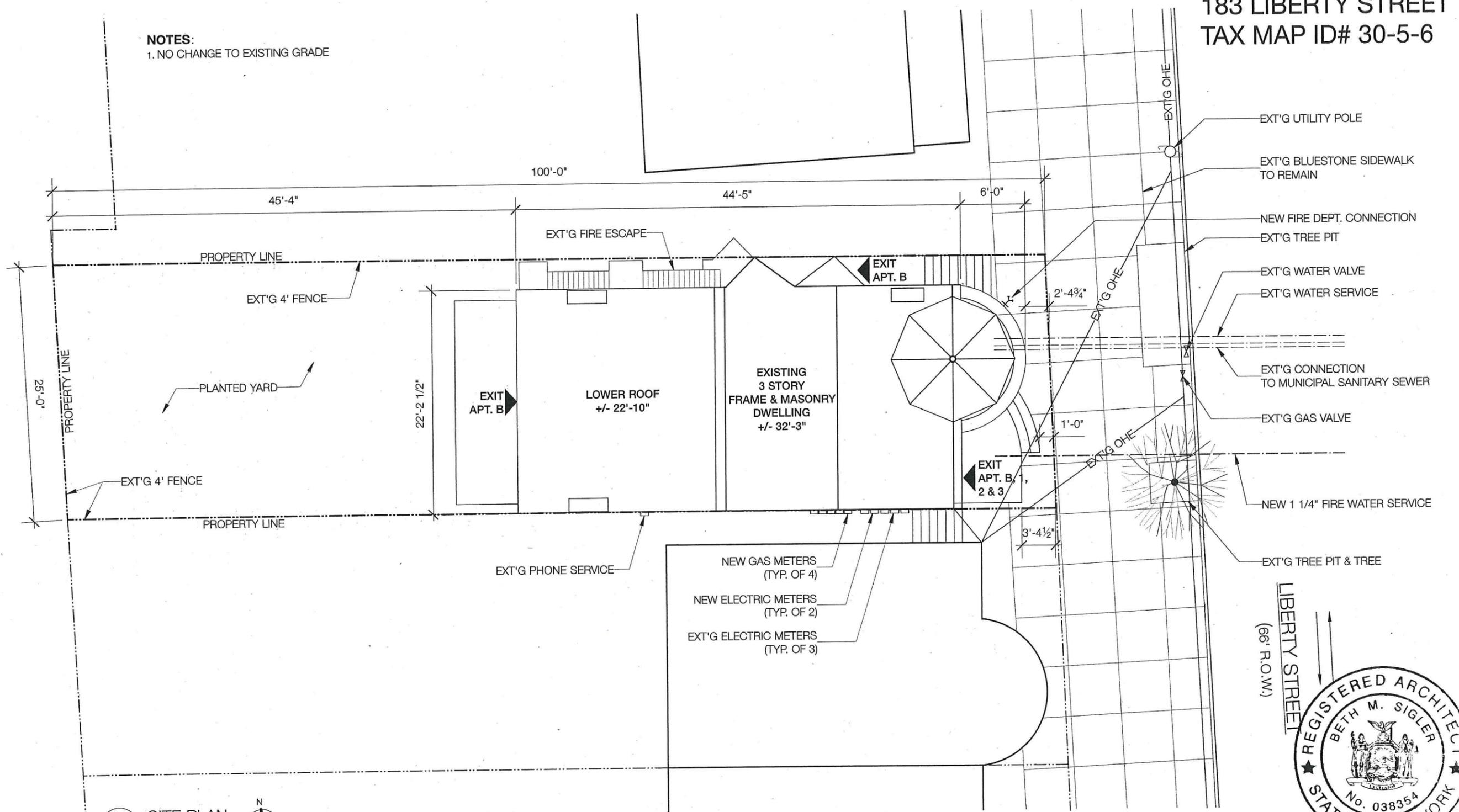
Tax Map  
Overlay Districts

V-02

date:  
09.09.2016  
Site Plan Review

**183 LIBERTY STREET  
TAX MAP ID# 30-5-6**

**NOTES:**  
1. NO CHANGE TO EXISTING GRADE



date: 09.09.2016  
Site Plan Review

owner: 183 LIBERTY LLC 68N ROCHDALE AVE ROOSEVELT, NJ 08555  
architect: SIGLER HENDERSON STUDIO LLC 14 STONE STREET COLD SPRING, NY PHONE 845.372.3499

**1 SITE PLAN**  
Scale: 1" = 10 ft

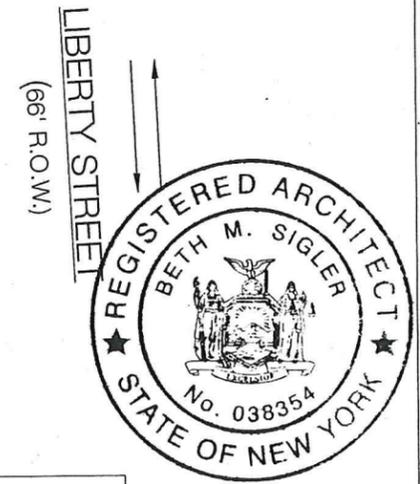


**ZONING NOTES**  
EXISTING / PROPOSED BUILDING FOOTPRINT: 1,180 SQ.FT.  
EXISTING / PROPOSED LOT WIDTH: 25' (Req. Min. 20')  
EXISTING / PROPOSED LOT DEPTH: 100' (Req. Min. 75')  
EXISTING / PROPOSED GROSS SQ. FT.: 4,010 S.FT.  
EXISTING / PROPOSED PARKING: NO OFF-STREET PARKING  
(Req. No off-street parking shall be required for the residential portion of any building with four or fewer units. 300-157C(2)(a))

**DOWNTOWN NEIGHBORHOOD LOT STANDARDS**  
EXISTING / PROPOSED LOT WIDTH: 25' (Req. Min. 20')  
EXISTING / PROPOSED LOT DEPTH: 100' (Req. Min. 75')  
EXISTING / PROPOSED FRONT SET BACK: 1' (Req. 0-10')  
EXISTING / PROPOSED SIDE SET BACK: 0' (Req. 0')  
EXISTING / PROPOSED REAR SET BACK: 45.3' (Req. Min. 20')  
EXISTING / PROPOSED HEIGHT 3 STORY: 40'-10 3/4"  
(Req. Rowhouse/ Compact Detached Min. 2 stories/ 25'  
Max. 4 stories/ 50')

**PROJECT SUMMARY- (4) 1 BEDROOM APT.**

FLR.	APT.	SQ.FT. NET	MECH. SQ.FT. NET	TOTAL SQ.FT. GROSS
B		588 SQ. FT.	275 SQ. FT.	1180 SQ. FT.
1ST		715 SQ. FT.		1090 SQ. FT.
2ND		775 SQ. FT.		1090 SQ. FT.
3RD		350 SQ. FT.		650 SQ. FT.
				4010 SQ. FT. TOTAL



project: **LEANDER BROWN HOUSE**  
183 Liberty Street, Newburgh, NY 12550

Site Plan

**V-03**

## NOTES

### GENERAL

1. ALL CONSTRUCTION, MATERIALS AND EQUIPMENT SHALL CONFORM TO ALL LOCAL ZONING AND BUILDING CODES AND THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE. WORKMANSHIP SHALL CONFORM WITH THE BEST ACCEPTABLE STANDARDS FOR THE TRADES INVOLVED.
2. CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS. NO WORK IS TO COMMENCE UNTIL PERMITS ARE OBTAINED.
3. ALL PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY A CITY OF NEWBURGH LICENSED CONTRACTOR.
4. CONTRACTOR SHALL PROVIDE THE ARCHITECT AND OWNER WITH ALL REQUIRED GOVERNMENTAL APPROVALS.
5. CONTRACTOR SHALL PROTECT THE PUBLIC, NEIGHBORS AND THE PREMISES DURING THE PERIOD OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ADEQUATE SHORING, BRACING, FENCING, LIGHTING AND BARRICADES AS REQUIRED.
6. CONTRACTORS SHALL VISIT THE SITE AND THOROUGHLY ACQUAINT THEMSELVES WITH ALL EXISTING CONDITIONS, TO CHECK AND VERIFY ALL CONDITIONS, VERIFY PROJECT SCOPE AND REPORT TO THE ARCHITECT ANY ERRORS, OMISSIONS OR VARIATION FROM THE INTENT OF THE PLANS PRIOR TO THE START OF WORK.
7. CONTRACTOR SHALL COORDINATE CONSTRUCTION OPERATIONS AND SEQUENCING.
8. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR THE COORDINATION OF ALL PORTIONS OF THE WORK.
9. IT SHALL BE THE RESPONSIBILITY OF THE MEP CONTRACTORS TO SUBMIT IN SUFFICIENT DETAIL (THE SIZE, DESIGN AND TYPE OF MECHANICAL SYSTEMS), WHICH WILL BE USED TO THE BUILDING DEPARTMENT.
10. MEP AND SPRINKLER LAYOUT AND INSTALLATION IS TO BE IN ACCORDANCE WITH ALL STATE AND LOCAL GOVERNING CODES, ORDINANCES AND GENERALLY ACCEPTED TRADE STANDARDS. MEP CONTRACTORS ARE TO PROVIDE ANY ADDITIONAL INFORMATION REQUIRED BY THE BUILDING DEPARTMENT.
11. MEP AND SPRINKLER CONTRACTORS TO REVIEW AND COORDINATE SYSTEMS INSTALLATION WITH GENERAL CONTRACTOR PRIOR TO PERMITTING AND INSTALLATION.
12. THE EXACT LOCATION OF ALL HEATING, PLUMBING AND ELECTRICAL SYSTEMS ARE TO BE COORDINATED WITH THE OWNER AND THE MEP CONTRACTORS.
13. ALL RAILING SPINDLES SHALL BE PLACED SO A 4" DIAMETER SPHERE WILL NOT PASS THROUGH.
14. BLOCKING SHALL BE PROVIDED FOR ALL WALL MOUNTED ITEMS AND AT OTHER LOCATIONS WHERE STABILITY IS A FACTOR. COORDINATE BLOCKING FOR LOCATIONS OF BATHROOM, KITCHEN AND OTHER WALL MOUNTED ACCESSORIES. COORDINATE BLOCKING WITH MEP CONTRACTOR FOR EQUIPMENT MOUNTING AND WEIGHTS.
15. THE PREMISES AND THE JOB SITE SHALL BE MAINTAINED IN A REASONABLY NEAT AND ORDERLY CONDITION AND KEPT FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH DURING THE ENTIRE CONSTRUCTION PERIOD. REMOVE FLAMMABLE WASTE MATERIALS OR TRASH FROM THE WORK AREAS AT THE END OF EACH WORKING DAY.
16. CONTRACTOR TO COORDINATE WITH THE OWNER THE SELECTION OF ANY ITEMS OR MATERIALS NOT SPECIFIED IN THE DRAWINGS.
17. CONTRACTOR TO COORDINATE ALL UTILITY LOCATIONS WITH THE OWNER AND THE GOVERNING UTILITY.
18. ARCHITECT HAS NOT BEEN RETAINED TO REVIEW SHOP DRAWINGS. CONSULT OWNER FOR REQUIRED SUBMITTALS.
19. ALL CEILING HEIGHTS TO BE V.I.F. CEILING TO BE MINIMALLY DROPPED IN BATHROOMS ONLY TO CONCEAL PLUMBING AS REQUIRED. CONTRACTOR TO INFORM ARCHITECT AND OWNER PRIOR TO PIPE INSTALLATION AND FRAMING IF CEILING DROP WILL EXCEED 6".

### DEMOLITION

1. STANDARDS: EXCEPT AS MODIFIED BY GOVERNING CODES, COMPLY WITH THE APPLICABLE PROVISIONS AND RECOMMENDATIONS OF THE "AMERICAN STANDARD SAFETY CODE FOR BUILDING CONSTRUCTION" (ANSI A10.2) AND "SAFETY REQUIREMENTS FOR DEMOLITION" (ANSI A10.6).
2. PRIOR TO COMMENCING DEMOLITION, CONTRACTOR SHALL MAKE SUCH EXPLORATIONS AND PROBES AS ARE NECESSARY TO ASCERTAIN REQUIRED PROTECTION MEASURES.
3. CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY PROTECTION OF THE EXISTING STRUCTURE DESIGNATED TO REMAIN WHERE DEMOLITION AND REMOVAL WORK IS BEING DONE, CONNECTIONS MADE, MATERIALS HANDLED, OR EQUIPMENT MOVED.

4. CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING STRUCTURE, FIXTURES AND FITTINGS, APPURTENANCES, OR CONTENTS IF DEEMED RESULTANT OF CONTRACTOR'S OPERATIONS.
5. NECESSARY PRECAUTIONS WILL BE TAKEN TO PREVENT DUST AND DIRT FROM RISING BY WETTING DEMOLISHED MASONRY, CONCRETE, PLASTER AND SIMILAR DEBRIS; DUST WILL BE CONTROLLED WITH GREEN SWEEPING COMPOUND. DUST-PROOF PARTITIONS OR BARRIERS WILL BE ERECTED TO PREVENT THE SPREAD OF DUST TO UNALTERED OR COMPLETED PORTIONS OF THE PROJECT AREA.
6. WHERE EXISTING WALLS AND CEILINGS ARE TO REMAIN, EDGES OF EXISTING MATERIALS WILL BE LEFT NEAT, SHARP AND FIRMLY IN PLACE SO THAT NEW MATERIALS CAN BE PROPERLY AND NEATLY ADJOINED TO OLD.
7. ALL PARTITIONS, CEILINGS, FLOORS, DOORS, FRAMES, HARDWARE, LIGHTING FIXTURES NOT INDICATED ON DRAWINGS AS EITHER NEW OR EXISTING TO REMAIN SHALL BE DEMOLISHED. CONTRACTOR SHALL PERFORM ALL CUTTING, INCLUDING CHASES, AS REQUIRED FOR PLUMBING, ELECTRICAL, MECHANICAL AND STRUCTURAL WORK.
8. ALL ITEMS SPECIFICALLY DESIGNATED FOR REUSE, BUT DAMAGED IN THE COURSE OF WORK PERFORMED BY THE CONTRACTOR SHALL BE REPLACED BY ITEMS OF EQUAL QUALITY AND APPEARANCE AT NO EXPENSE TO THE OWNER.
9. CLEAN UP: PREMISES SHALL BE LEFT CLEAN OF DEBRIS AND IN BROOM CLEAN CONDITION. ADJACENT PLACES SHALL BE THOROUGHLY CLEANED. ALL ITEMS DESIGNATED TO BE SAVED WILL BE STORED AND COVERED IN DESIGNATED AREA TO BE DETERMINED.
10. ASBESTOS REMOVAL: DISPOSAL AND CONTAINMENT OF ANY MATERIALS FOUND SHALL BE IN ACCORDANCE WITH NEW YORK STATE AND LOCAL REGULATIONS.

### UTILITY

1. THE LOCATION OF EXISTING UTILITIES AS SHOWN ON DRAWINGS ARE FOR INFORMATION ONLY. THE CONTRACTOR SHALL CALL DIG SAFELY NEW YORK 1-800-962-7962 PRIOR TO ANY EXCAVATION.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE, IDENTIFY AND PROTECT EXISTING AND NEW UTILITIES WITHIN THE PROJECT LIMITS.
3. CONTRACTOR TO OBTAIN PERMIT FROM CITY OF NEWBURGH, AUTHORIZED BY THE PLUMBING INSPECTOR.
4. A CITY OF NEWBURGH LICENSED PLUMBER MUST BE RETAINED TO INSTALL WATER CONNECTION.
5. A BONDED EXCAVATOR IS REQUIRED FOR ALL EXCAVATIONS WITHIN THE CITY STREET R.O.W.
6. THE CITY OF NEWBURGH WATER SUPERINTENDENT SHALL BE NOTIFIED, VIA A CORPORATION TAP REQUEST, PRIOR TO MAKING CONNECTION TO THE MUNICIPAL WATER SYSTEM.
7. THE CITY OF NEWBURGH WATER DEPARTMENT SHALL INSTALL THE CORPORATION TAP INTO THE MUNICIPAL WATER SYSTEM, UP TO (1) INCH SERVICE. CORPORATION TAPS ABOVE (1) INCH IN SIZE SHALL BE DONE BY A CONTRACTOR SPECIALIZING IN LARGE DIAMETER TAPPING.
8. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE PLUMBING INSPECTOR PRIOR TO AND DURING BACKFILL.
9. FIRE SUPPRESSION CALCULATIONS HAVE BEEN PROVIDED FOR REVIEW AND APPROVAL WITH THE BUILDING PERMIT APPLICATION.
10. DOMESTIC WATER CALCULATIONS WILL BE PROVIDED BY A LICENSED PLUMBER FOR REVIEW AND APPROVAL WITH THE BUILDING PERMIT APPLICATION.

183 LIBERTY STREET  
TAX MAP ID# 30-5-6

date:  
09.09.2016  
Site Plan Review

owner:  
183 LIBERTY LLC 66N ROCHDALE AVE ROOSEVELT, NJ 08555  
architect:  
SIGLER HENDERSON STUDIO LLC 14 STONE STREET COLD SPRING, NY PHONE 845.372.3499

project:  
**LEANDER BROWN HOUSE**  
183 Liberty Street, Newburgh, NY 12550

General Notes

V-04



# 183 LIBERTY STREET TAX MAP ID# 30-5-6

## NOTES:

1. EXISTING FIRE ESCAPE TO REMAIN. THROUGH BOLTING TO BE CONFIRMED & NEW DROP LADDER TO BE INSTALLED. FIRE ESCAPE TO BE SCRAPED & PAINTED.

2. INTERIOR GUTDEMOLITION PERFORMED BY PREVIOUS OWNER.

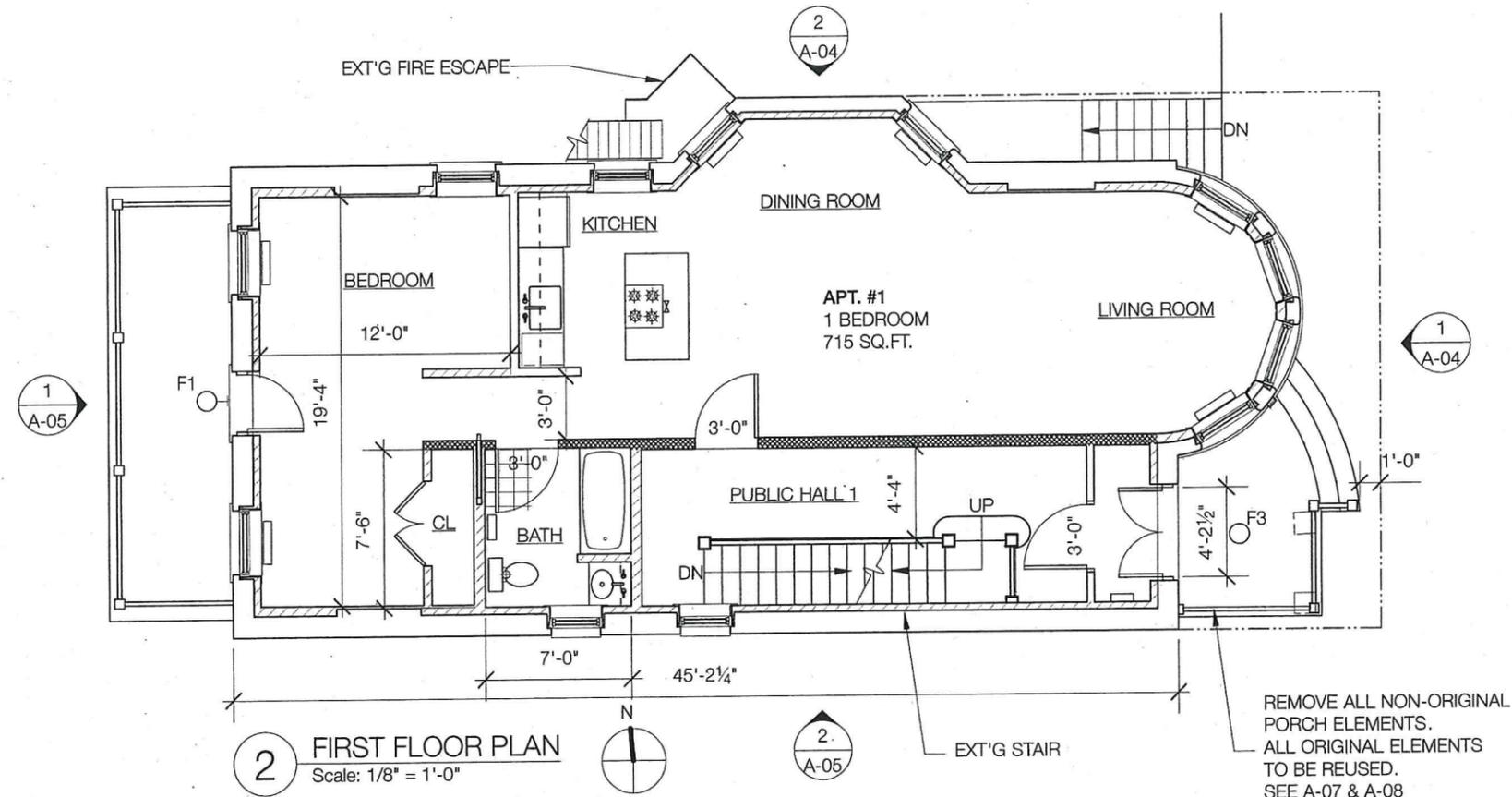
## EXTERIOR LIGHTING KEY:

- RECESSED FIXTURE WATERPROOF
- WALL MOUNTED FIXTURE WATERPROOF
- ⊕ PENDANT FIXTURE WATERPROOF

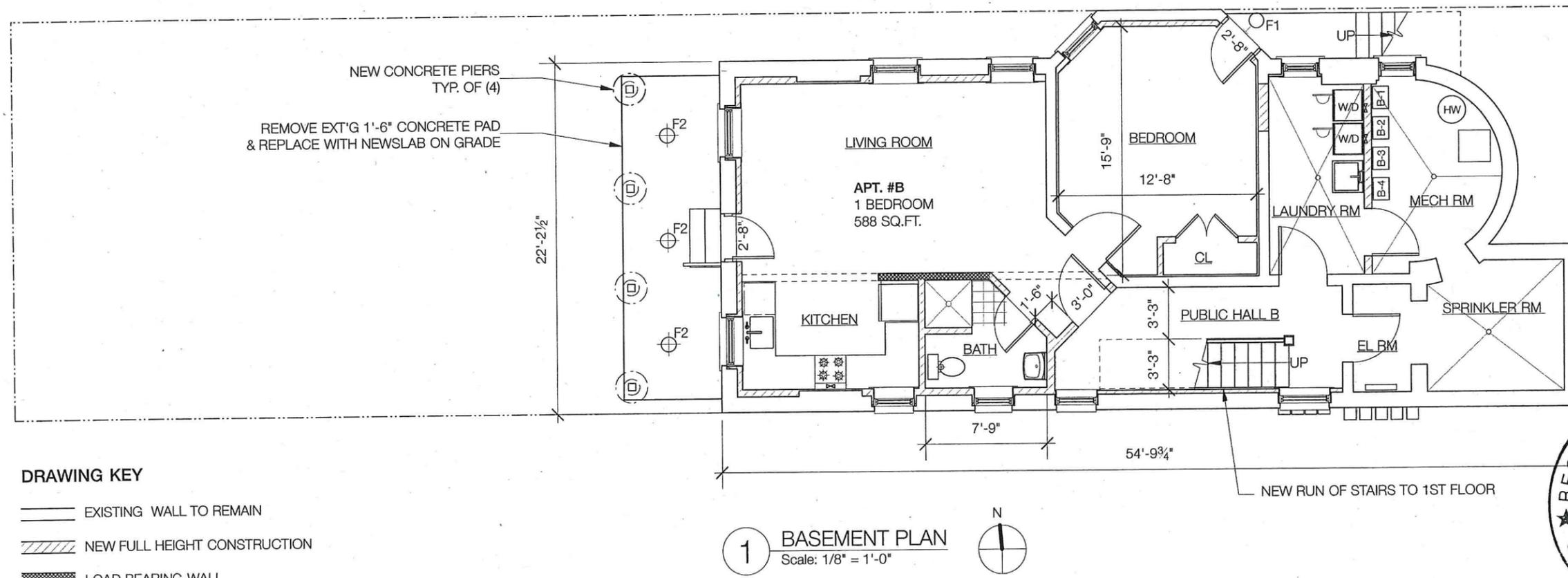
## EXTERIOR LIGHTING SCHEDULE

SYM.	DESCRIPTION	LUMENS	ANGLE
F1	LED Gooseneck Light w/ shade WL UL Listed	1250	0
F2	LED Stem Mounted Light w/ shade WL UL Listed	1250	0
F3	LED Recessed ETL & cETL Listed, Energy Star	1005	0

SEE A-04 & A-05 FOR FIXTURE HEIGHT



REMOVE ALL NON-ORIGINAL PORCH ELEMENTS. ALL ORIGINAL ELEMENTS TO BE REUSED. SEE A-07 & A-08



## DRAWING KEY

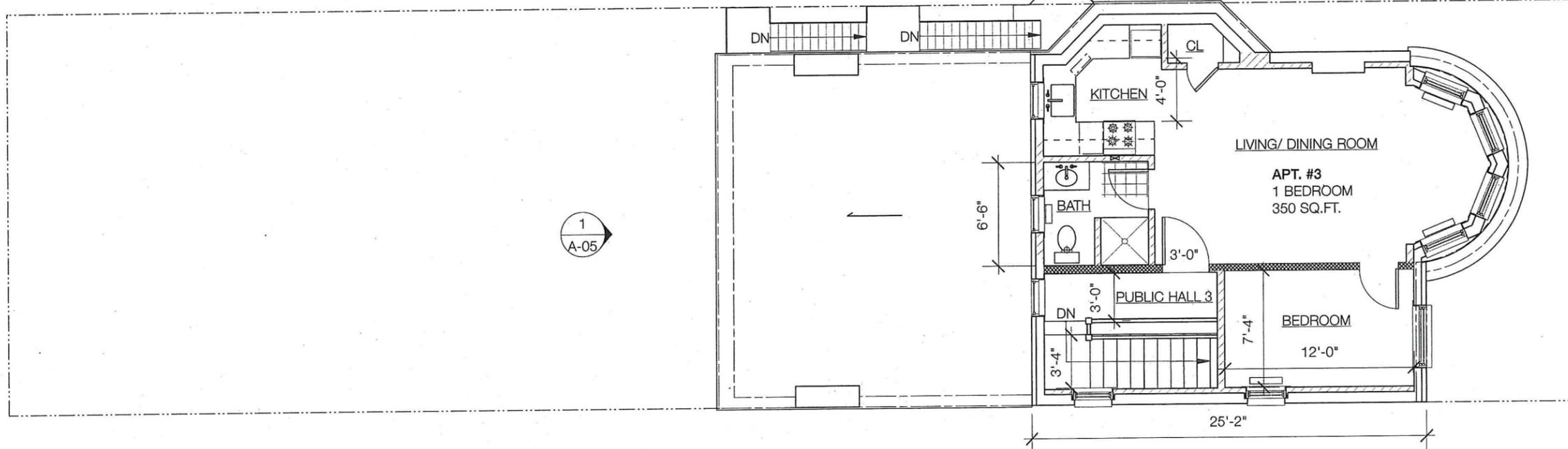
- EXISTING WALL TO REMAIN
- ▨ NEW FULL HEIGHT CONSTRUCTION
- ▩ LOAD BEARING WALL



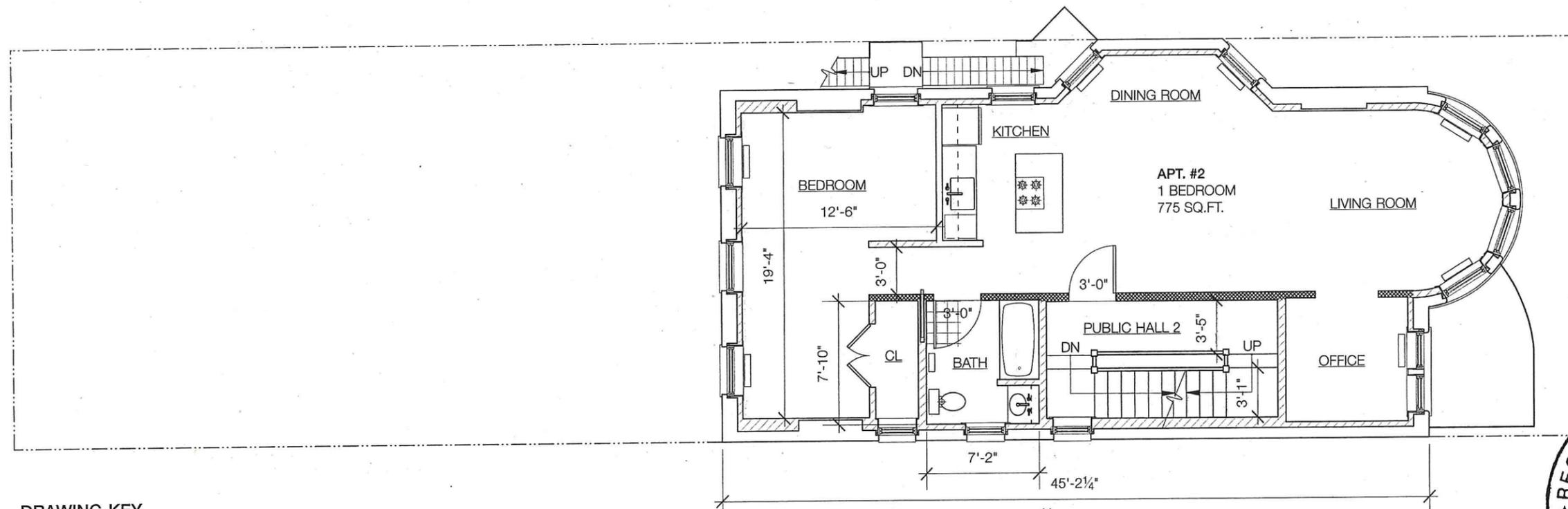
owner: 183 LIBERTY LLC 68N ROCHDALE AVE ROOSEVELT, NJ 08555  
 architect: SIGLER HENDERSON STUDIO LLC 14 STONE STREET COLD SPRING, NY PHONE 845.372.3499  
 date: 09.09.2016  
 Site Plan Review  
**LEANDER BROWN HOUSE**  
 183 Liberty Street, Newburgh, NY 12550  
 project: Exterior Lighting  
 Basement & 1st Floor Plans w/ Exterior Lighting  
**A-01**

183 LIBERTY STREET  
TAX MAP ID# 30-5-6

date: 09.09.2016  
Site Plan Review



2 THIRD FLOOR PLAN  
Scale: 1/8" = 1'-0"



1 SECOND FLOOR PLAN  
Scale: 1/8" = 1'-0"

- DRAWING KEY**
- EXISTING WALL TO REMAIN
  - ▨ NEW FULL HEIGHT CONSTRUCTION
  - ▩ LOAD BEARING WALL



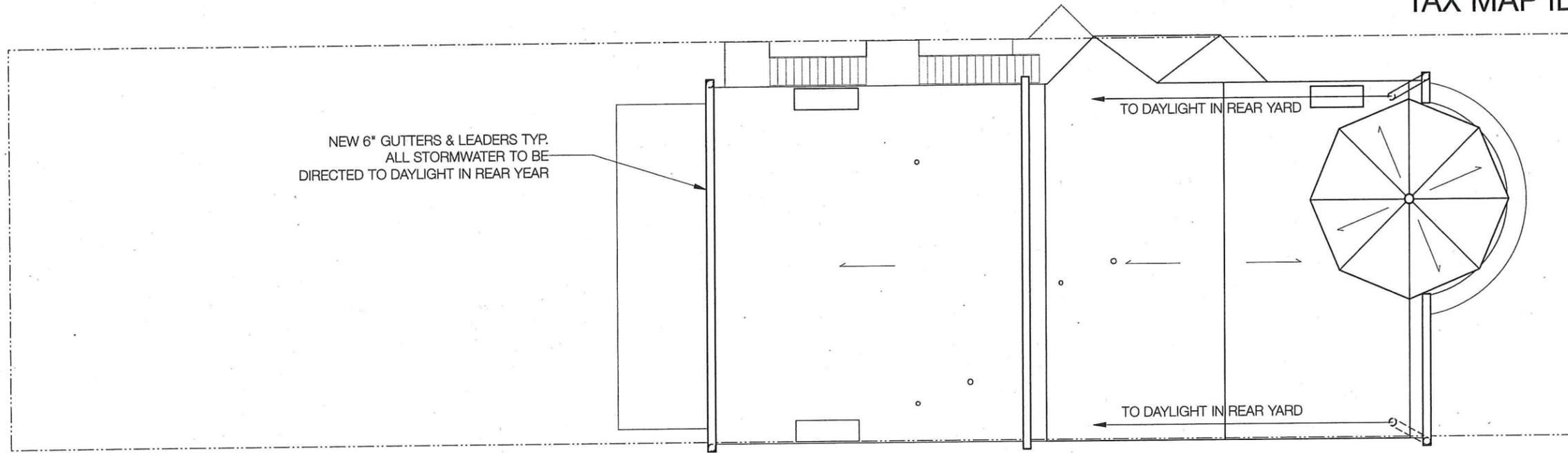
owner: 183 LIBERTY LLC 68N ROCHDALE AVE ROOSEVELT, NJ 08555  
architect: SIGLER HENDERSON STUDIO LLC 14 STONE STREET COLD SPRING, NY PHONE 845.372.3499

project: **LEANDER BROWN HOUSE**  
183 Liberty Street, Newburgh, NY 12550

2nd & 3rd Floor Plans

A-02

183 LIBERTY STREET  
TAX MAP ID# 30-5-6



NEW 6" GUTTERS & LEADERS TYP.  
ALL STORMWATER TO BE  
DIRECTED TO DAYLIGHT IN REAR YARD

1 ROOF PLAN  
Scale: 1/8" = 1'-0"



date:  
09.09.2016  
Site Plan Review

owner:  
183 LIBERTY LLC 68N ROCHDALE AVE ROOSEVELT, NJ 08555

architect:  
SIGLER HENDERSON STUDIO LLC 14 STONE STREET COLD SPRING, NY PHONE 845.372.3499

project:  
**LEANDER BROWN HOUSE**  
183 Liberty Street, Newburgh, NY 12550

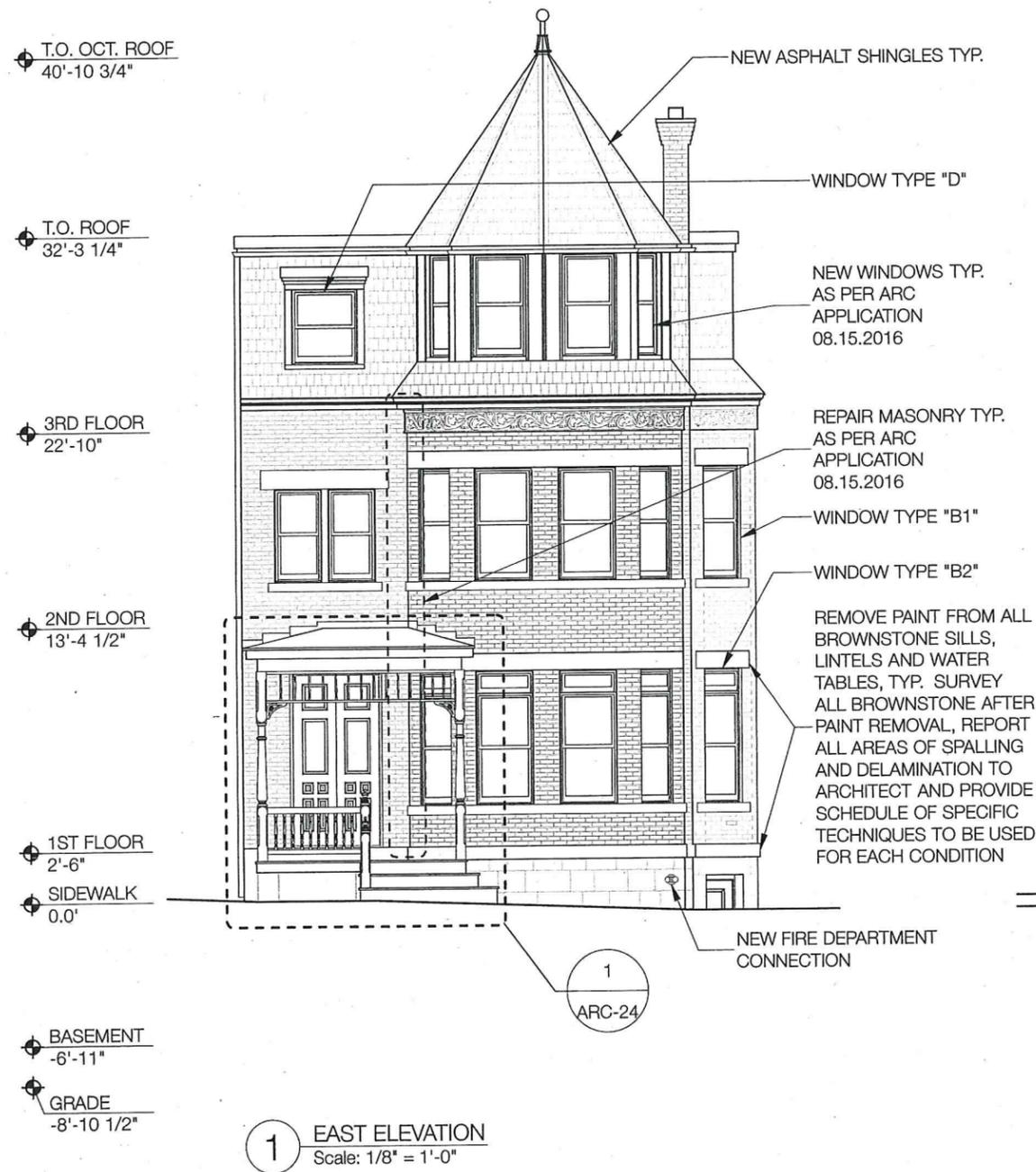
Roof Plan

A-03

# 183 LIBERTY STREET TAX MAP ID# 30-5-6

date: 09.09.2016  
Site Plan Review

**NOTE:**  
NO WORK OF ANY KIND TO BE PERFORMED ON ANY MASONRY WITHOUT A THOROUGH KNOWLEDGE OF ALL RELEVANT AND APPROVED HISTORIC PRESERVATION PRACTICES AND PRIOR TO PROVIDING A SCHEDULE OF SPECIFIC TECHNIQUES TO THE ARCHITECT FOR REVIEW



1 EAST ELEVATION  
Scale: 1/8" = 1'-0"



2 NORTH ELEVATION  
Scale: 1/8" = 1'-0"

owner: 183 LIBERTY LLC 68N ROCHDALE AVE ROOSEVELT, NJ 08555  
architect: SIGLER HENDERSON STUDIO LLC 14 STONE STREET COLD SPRING, NY PHONE 845.372.3499

project: **LEANDER BROWN HOUSE**  
183 Liberty Street, Newburgh, NY 12550



Exterior Elevations

A-04

183 LIBERTY STREET  
TAX MAP ID# 30-5-6

date: 09.09.2016  
Site Plan Review

T.O. OCT. ROOF  
40'-10 3/4"

T.O. ROOF  
32'-3 1/4"

3RD FLOOR  
22'-10"

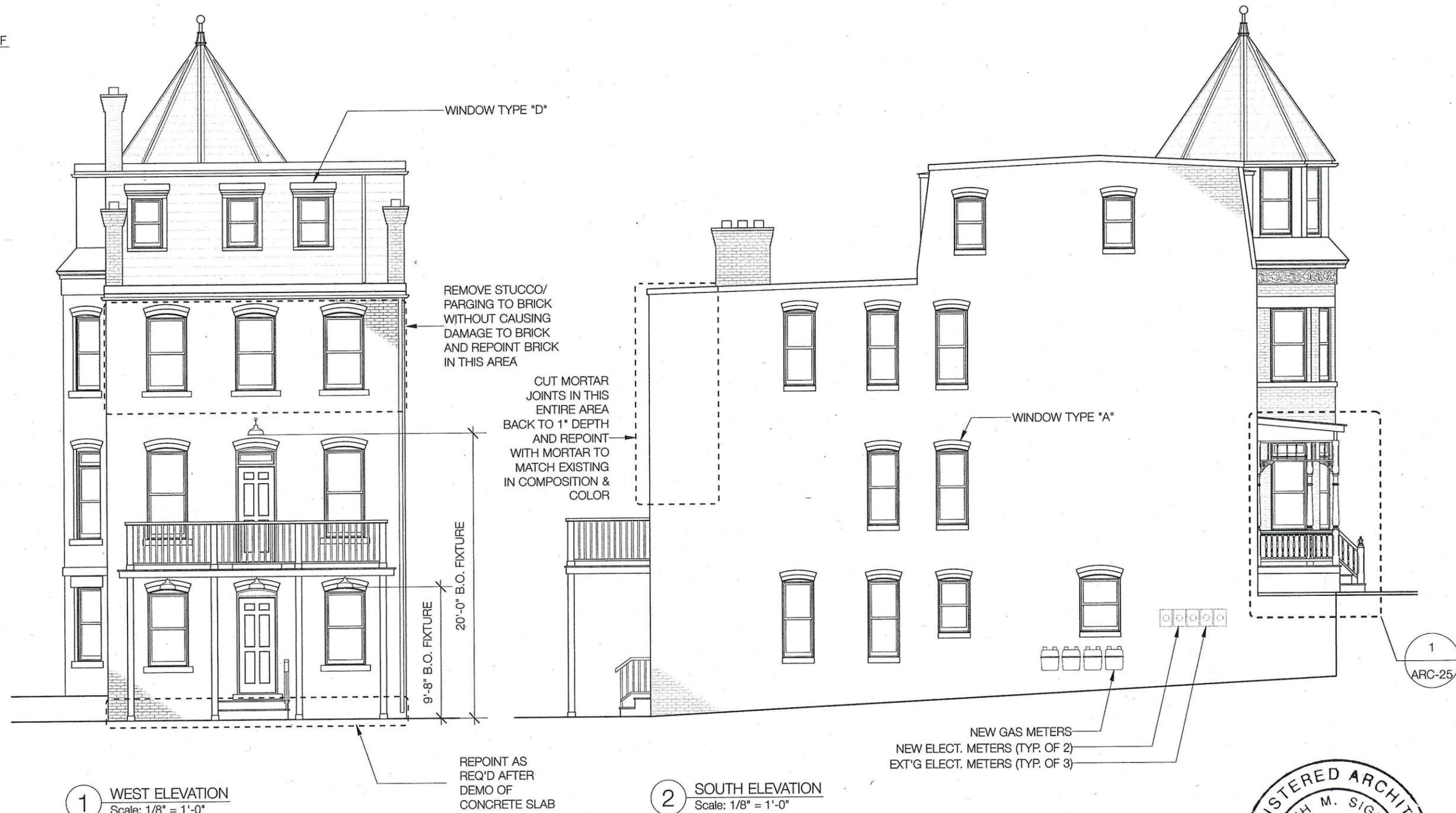
2ND FLOOR  
13'-4 1/2"

1ST FLOOR  
2'-6"

SIDEWALK  
0.0"

BASEMENT  
-6'-11"

GRADE  
-8'-10 1/2"



1 WEST ELEVATION  
Scale: 1/8" = 1'-0"

2 SOUTH ELEVATION  
Scale: 1/8" = 1'-0"



owner: 183 LIBERTY LLC 68N ROCHDALE AVE ROOSEVELT, NJ 08555  
architect: SIGLER HENDERSON STUDIO LLC 14 STONE STREET COLD SPRING, NY PHONE 845.372.3499

project: LEANDER BROWN HOUSE  
183 Liberty Street, Newburgh, NY 12550

Exterior Elevations

A-05

183 LIBERTY STREET  
TAX MAP ID# 30-5-6

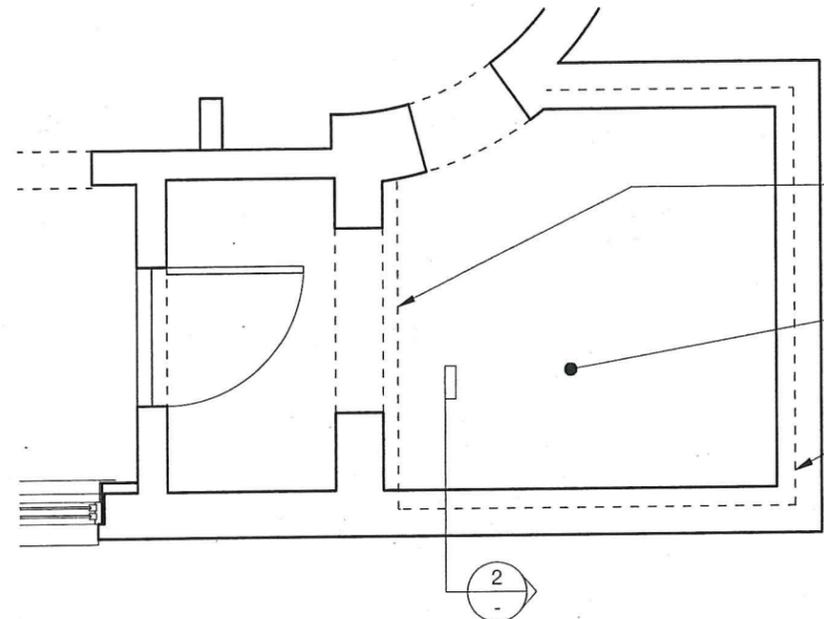
date: 09.09.2016  
Site Plan Review

owner: 183 LIBERTY LLC 68N ROCHDALE AVE ROOSEVELT, NJ 08555  
architect: SIGLER HENDERSON STUDIO LLC 14 STONE STREET COLD SPRING, NY PHONE 845.372.3499

project: LEANDER BROWN HOUSE  
183 Liberty Street, Newburgh, NY 12550

Exterior Details

A-06

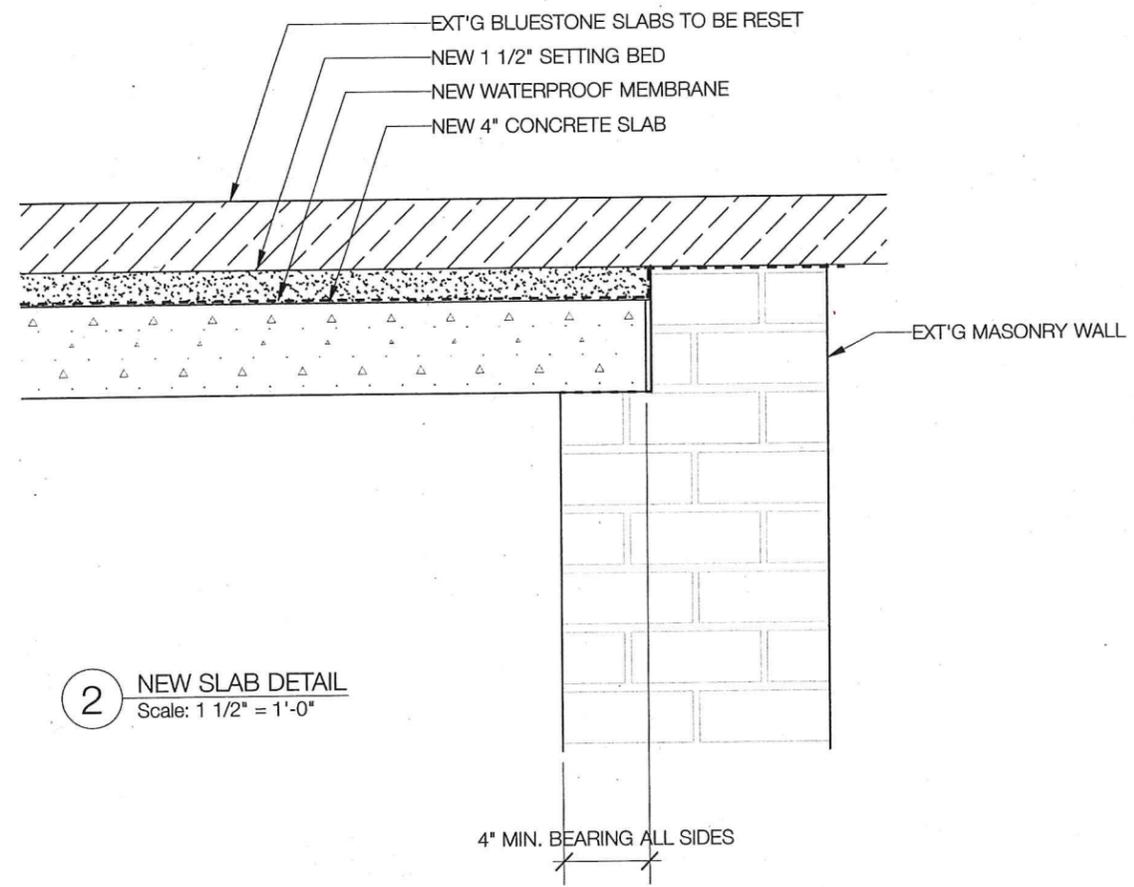


ABOVE:  
INSTALL 4" X 4" X 1/2" A36 STEEL ANGLE FOR  
SLAB BEARING. ANCHOR TO MASONRY W/  
1/2" X 4" SIMPSON TITEN ANCHORS 12" O.C.

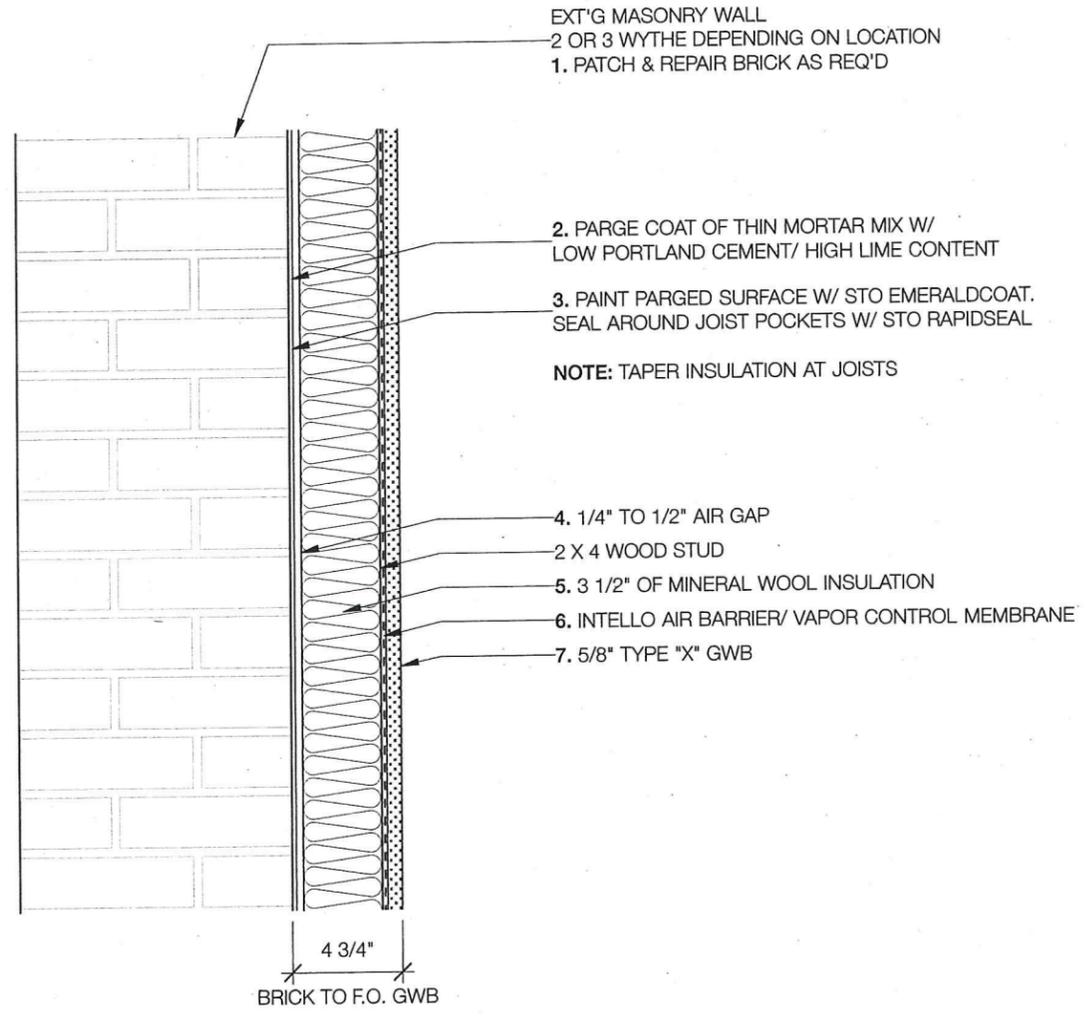
ABOVE:  
PROVIDE 18 GAUGE, 3" X 12" LOK-FLOOR  
STEEL DECKING W/ 5.5" OF CONCRETE &  
#4 REBAR IN SLAB 12" O.C. EACH WAY AT  
MID-SLAB

ABOVE:  
PROVIDE 4" BEARING @ PERIMETER OF  
CONCRETE SLAB TYP. ALL SIDES

1 PARTIAL BASEMENT PLAN  
Scale: 1/4" = 1'-0"

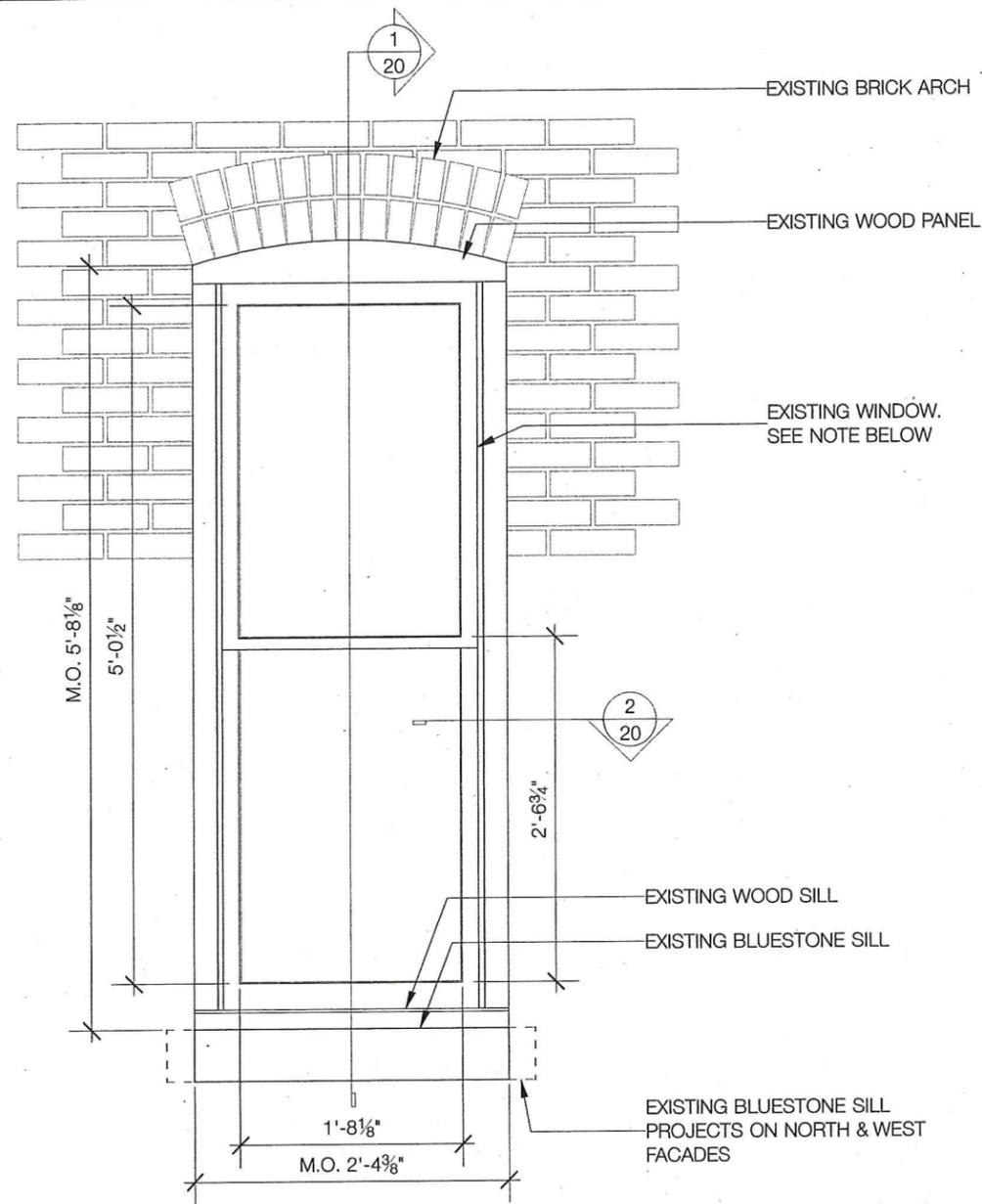


2 NEW SLAB DETAIL  
Scale: 1 1/2" = 1'-0"



3 TYP. EXTERIOR WALL DETAIL  
Scale: 1 1/2" = 1'-0"





1 ELEVATION EXISTING WINDOW "A"  
Scale: 3/4" = 1'-0"

**WINDOW TYPE "A":**

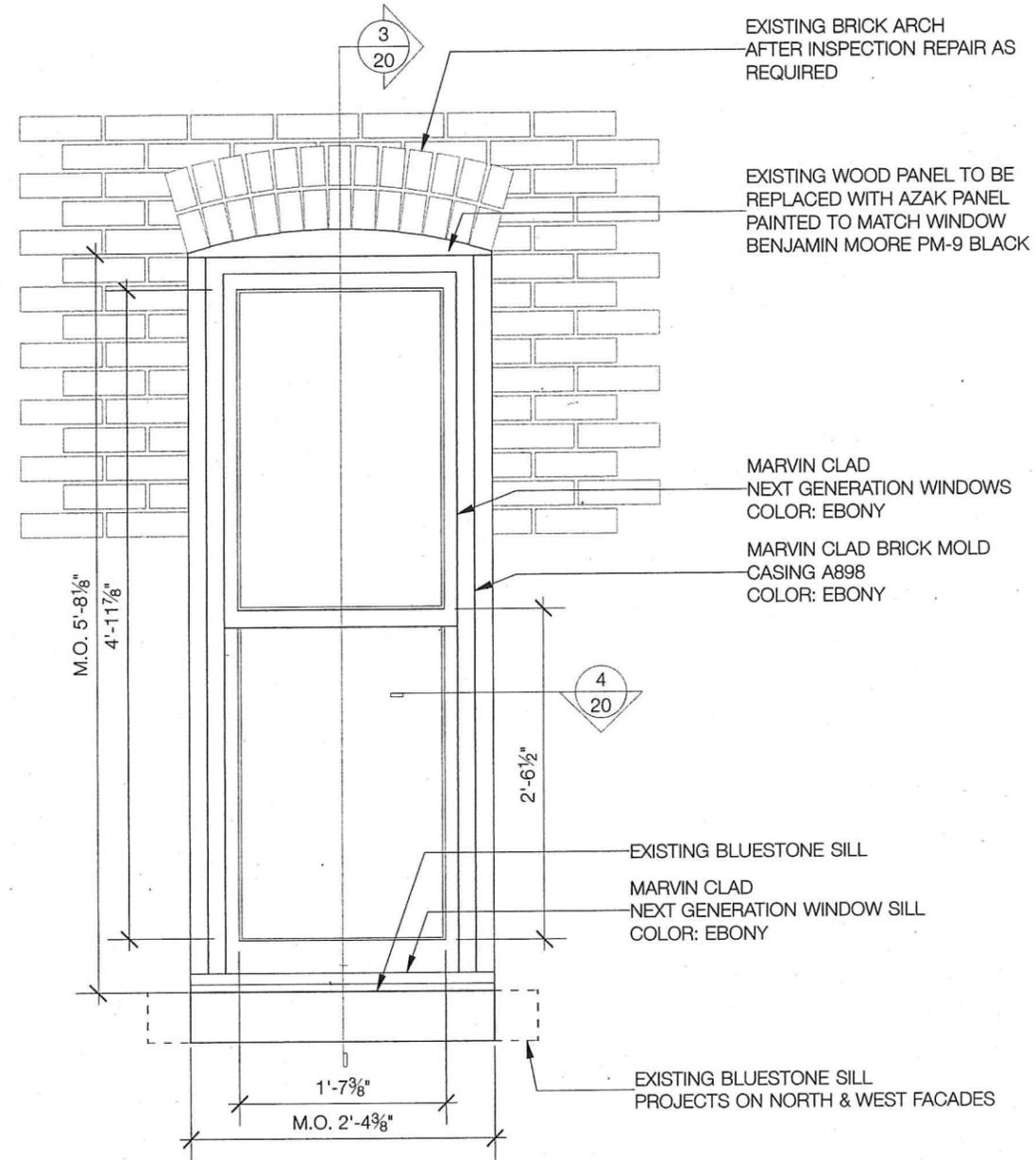
WINDOW IN MASONRY OPENING WITH BRICK ARCH LINTEL AND BLUESTONE SILL  
B05, B06, B07, B08, B09, B10, B11 & B12  
107, 108, 109, 110, 111 & 112,  
207, 208, 209, 210, 211, 212, 213, 214 & 215  
308 & 309

**EXISTING WINDOW "A" NOTES:**

1. EXISTING WINDOW AND FRAME MEASUREMENTS TAKEN FROM WINDOW 215 & 309. WINDOW 215 APPEARS TO HAVE THE ORIGINAL FRAME, UPPER SASH, TRIM AND SILL. WINDOW 309 APPEARS TO HAVE THE ORIGINAL FRAME, UPPER AND LOWER SASHES.

2. ALL EXISTING WINDOWS ARE IN A DETERIORATED STATE AS THE BUILDING HAS SUFFERED FROM LONG TERM LACK OF MAINTENANCE.

3. THE ONLY ORIGINAL WINDOWS APPEAR TO BE ON THE SOUTH ELEVATION. MANY HAVE BEEN REWORKED WITH REPLACED SASHES AND NEW BALANCES.



2 ELEVATION PROPOSED WINDOW "A"  
Scale: 3/4" = 1'-0"



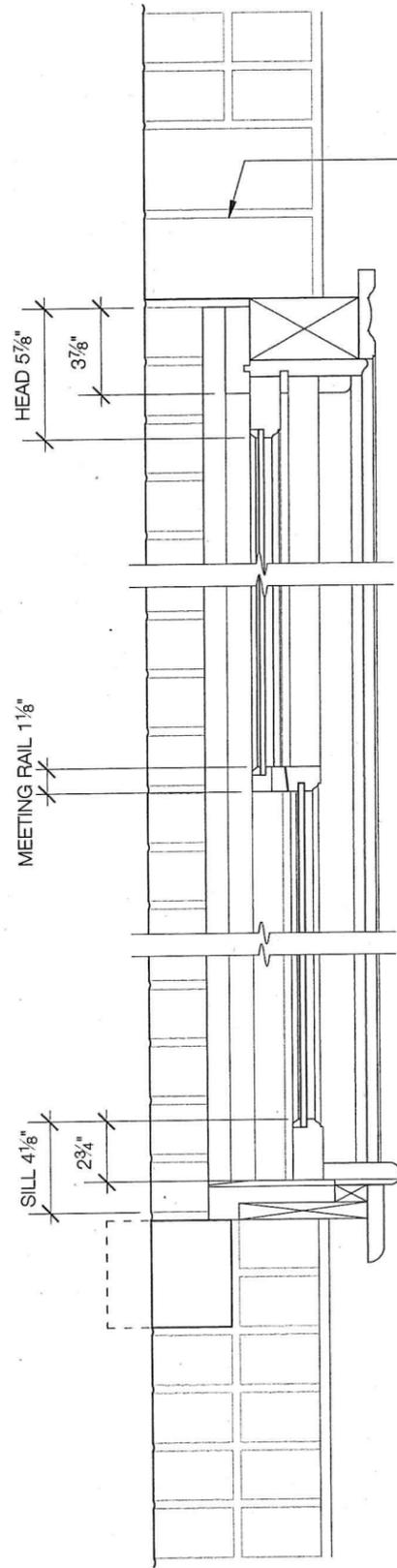
date: 08.15.2016  
ARC Review 09.09.2016  
Site Plan Review

owner: 183 LIBERTY LLC  
architect: SIGLER HENDERSON STUDIO LLC 14 STONE STREET COLD SPRING, NY PHONE 845.372.3499

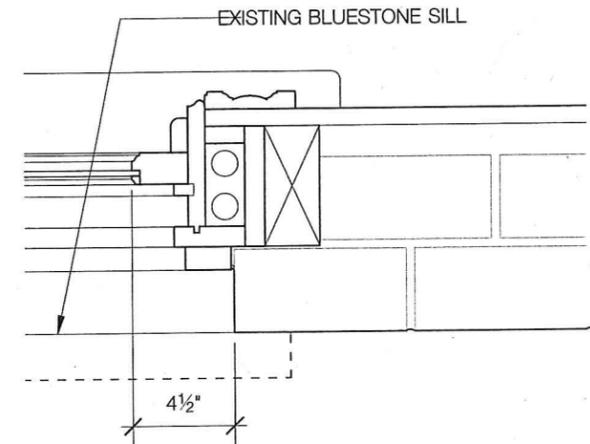
project: LEANDER BROWN HOUSE  
183 Liberty Street, Newburgh, NY 12550

Window Details  
Type "A"

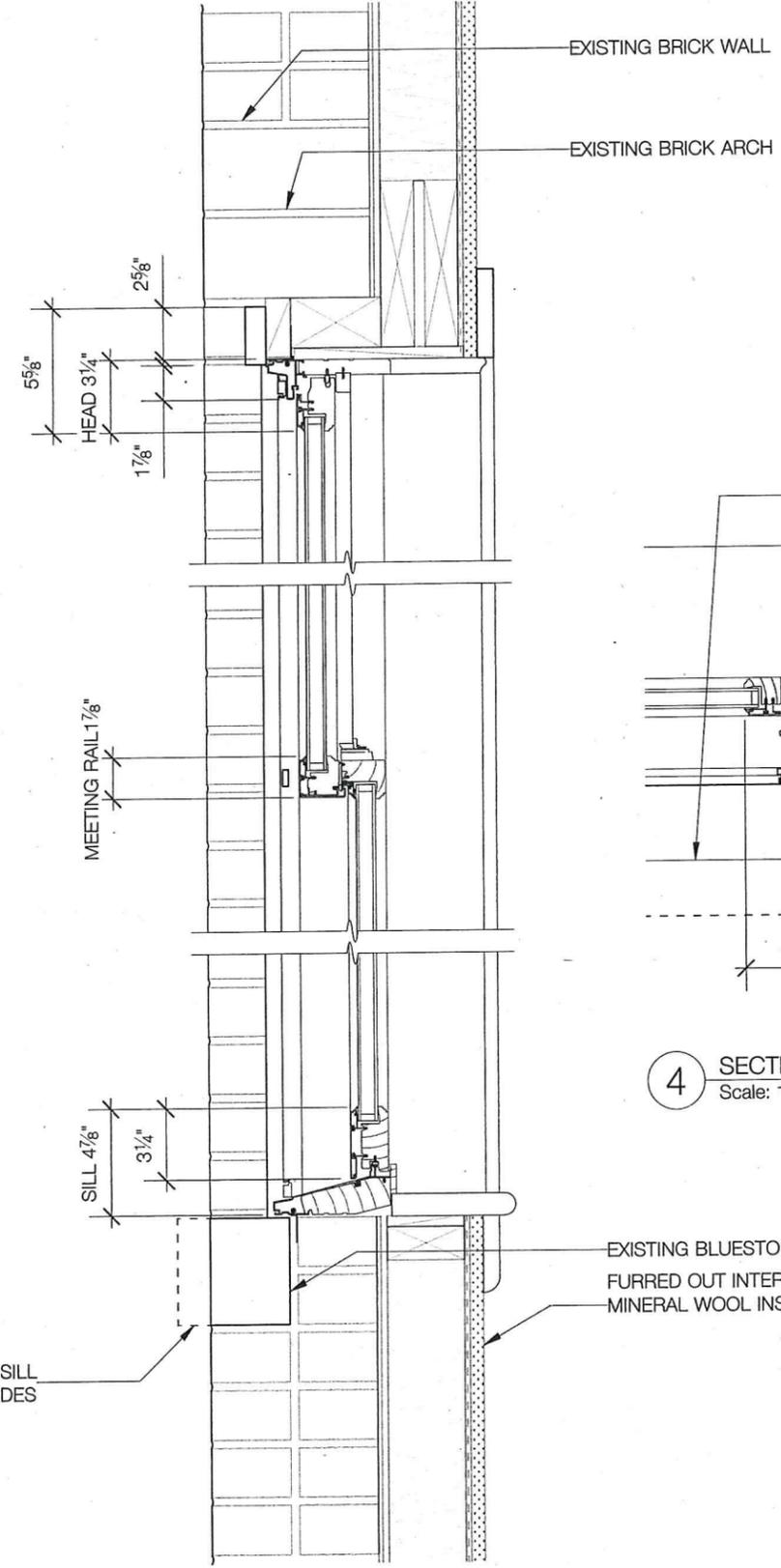
ARC-19



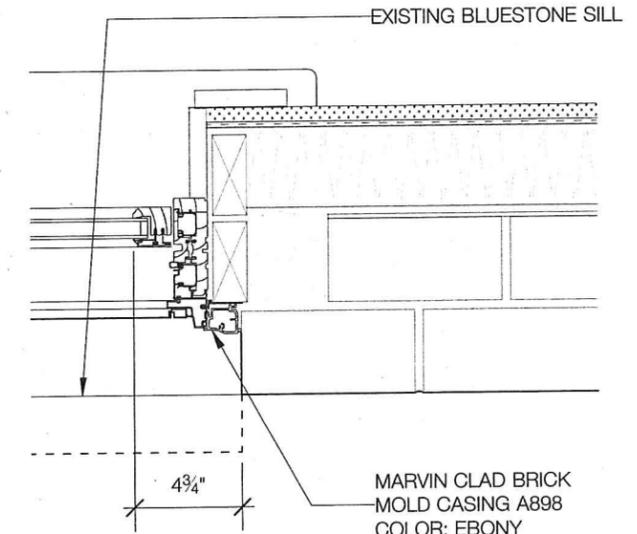
1 SECTION EXISTING WINDOW "A"  
Scale: 1 1/2" = 1'-0"



2 SECTION EXISTING WINDOW "A"  
Scale: 1 1/2" = 1'-0"



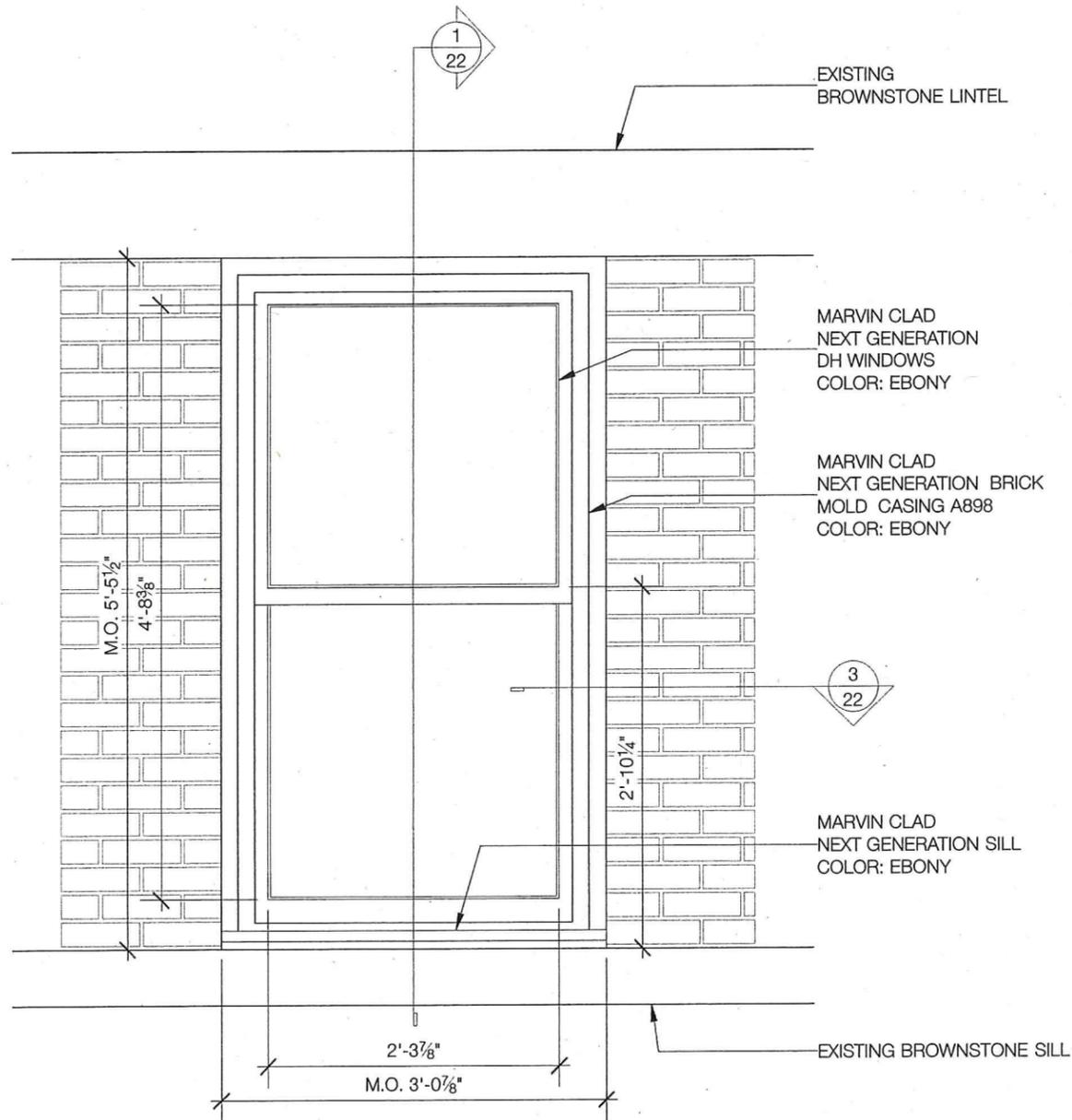
3 SECTION PROPOSED WINDOW "A"  
Scale: 1 1/2" = 1'-0"



4 SECTION PROPOSED WINDOW "A"  
Scale: 1 1/2" = 1'-0"



owner: 183 LIBERTY LLC	date: 08.15.2016
architect: SIGLER HENDERSON STUDIO LLC 14 STONE STREET COLD SPRING, NY PHONE 845.372.3499	ARC Review 09.09.2016
project: <b>LEANDER BROWN HOUSE</b> 183 Liberty Street, Newburgh, NY 12550	Site Plan Review
Window Details Type "A"	<b>ARC-20</b>

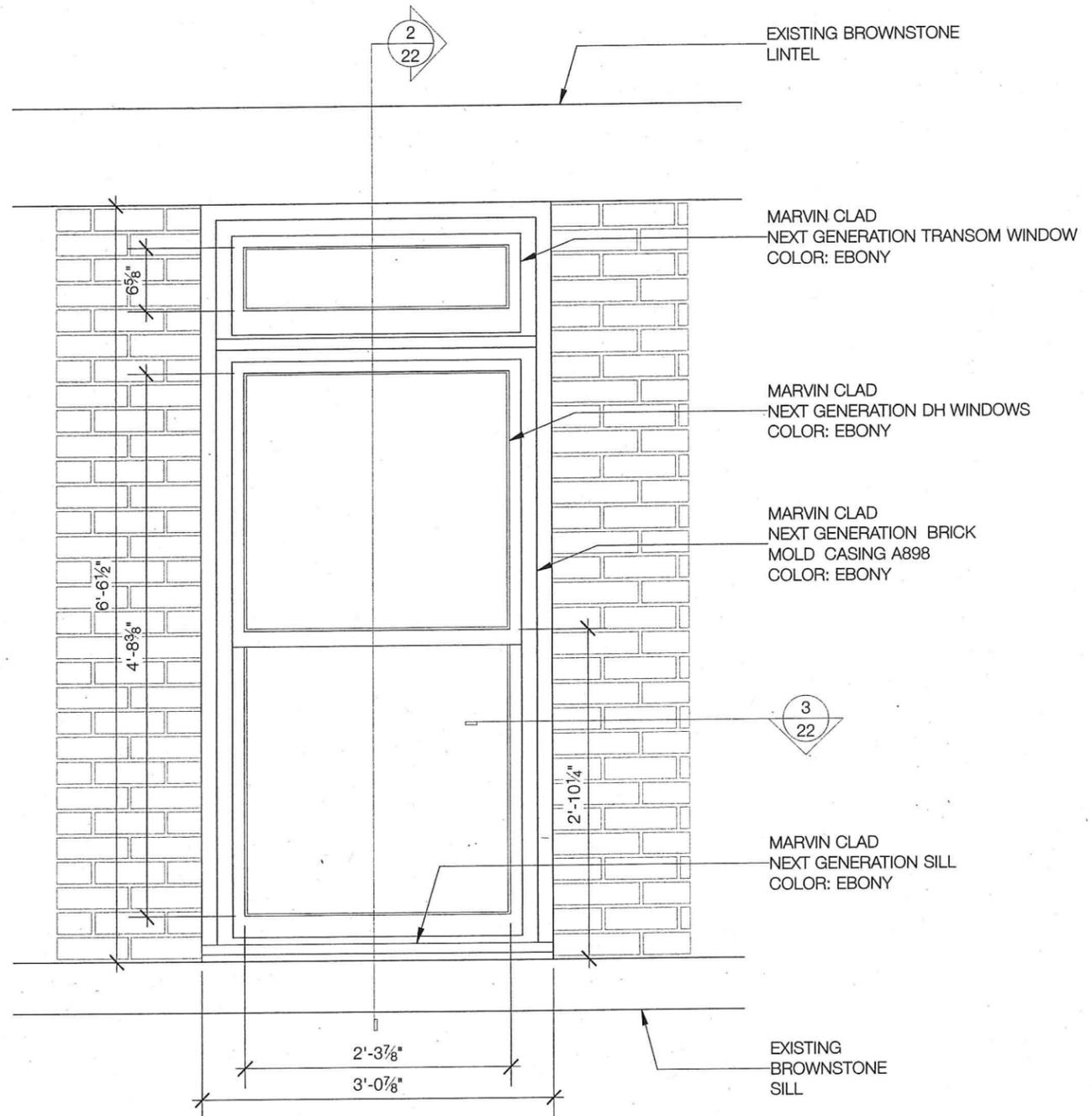


1 ELEVATION PROPOSED WINDOW "B1"  
Scale: 3/4" = 1'-0"

**WINDOW TYPE "B1":**  
WINDOW IN MASONRY OPENING WITH BROWNSTONE LINTEL AND SILL  
201, 202, 203, 204, 205 & 206 WITHOUT TRANSOM

**EXISTING WINDOW "B1" NOTES:**

1. ALL "B1" WINDOWS HAVE BEEN REPLACED OR ARE MISSING.
2. ALL EXISTING WINDOWS ARE IN A DETERIORATED STATE AS THE BUILDING HAS SUFFERED FROM LONG TERM LACK OF MAINTENANCE.



2 ELEVATION PROPOSED WINDOW "B2"  
Scale: 3/4" = 1'-0"

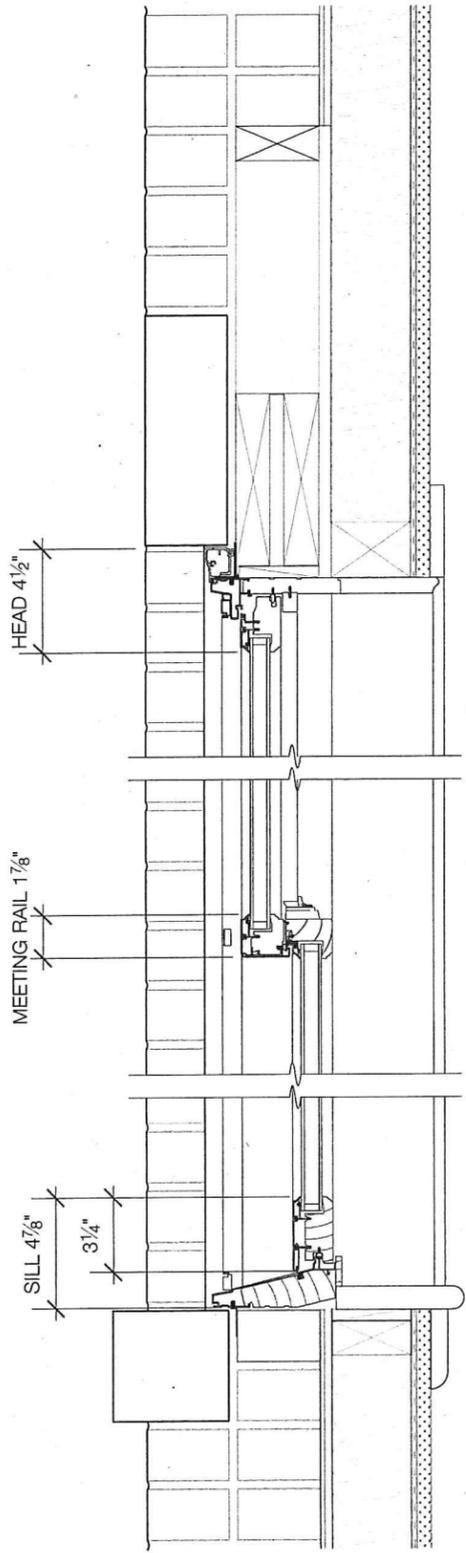
**WINDOW TYPE "B2":**  
WINDOW IN MASONRY OPENING WITH BROWNSTONE LINTEL AND SILL  
101, 102, 103, 104, 105 WITH TRANSOM

**EXISTING WINDOW "B2" NOTES:**

1. ALL "B2" WINDOWS HAVE BEEN REPLACED OR ARE MISSING.
2. HISTORIC PHOTO SHOWS TRANSOM WINDOWS AT 1ST. FLOOR. SEE SHEET ARC-06.
3. ALL EXISTING WINDOWS ARE IN A DETERIORATED STATE AS THE BUILDING HAS SUFFERED FROM LONG TERM LACK OF MAINTENANCE.

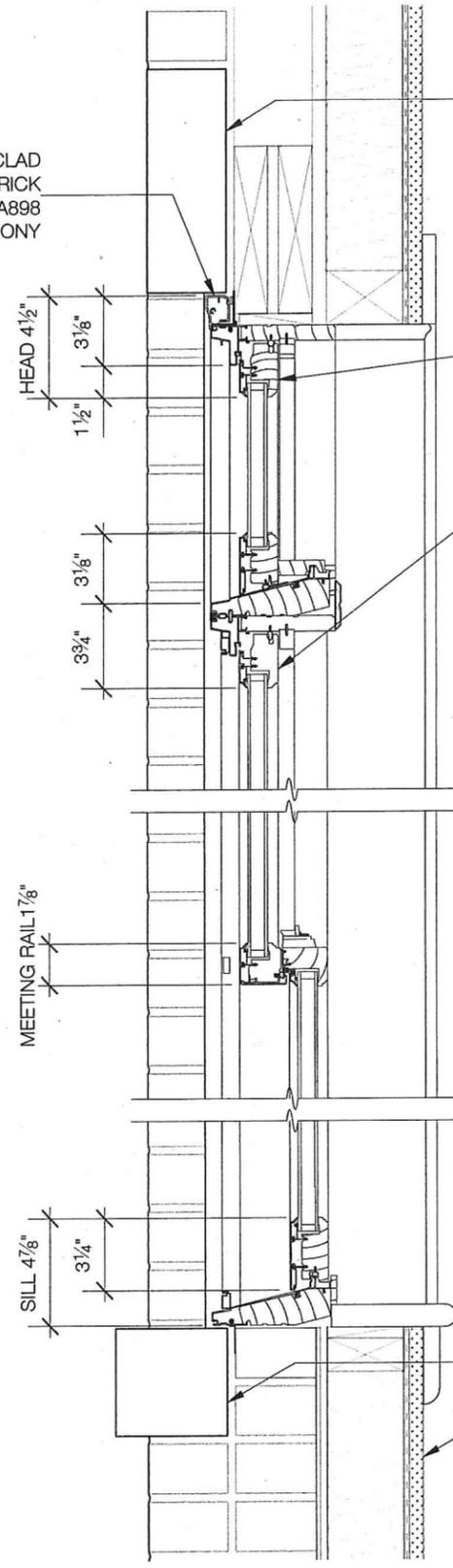


owner: 183 LIBERTY LLC	date: 08.15.2016
architect: SIGLER HENDERSON STUDIO LLC	ARC Review 09.09.2016
project: LEANDER BROWN HOUSE 183 Liberty Street, Newburgh, NY 12550	Site Plan Review
Window Details Type "B"	PHONE 845.372.3499
ARC-21	



1 SECTION PROPOSED WINDOW "B1"  
Scale: 1 1/2" = 1'-0"

MARVIN CLAD  
NEXT GENERATION BRICK  
MOLD CASING A898  
COLOR: EBONY



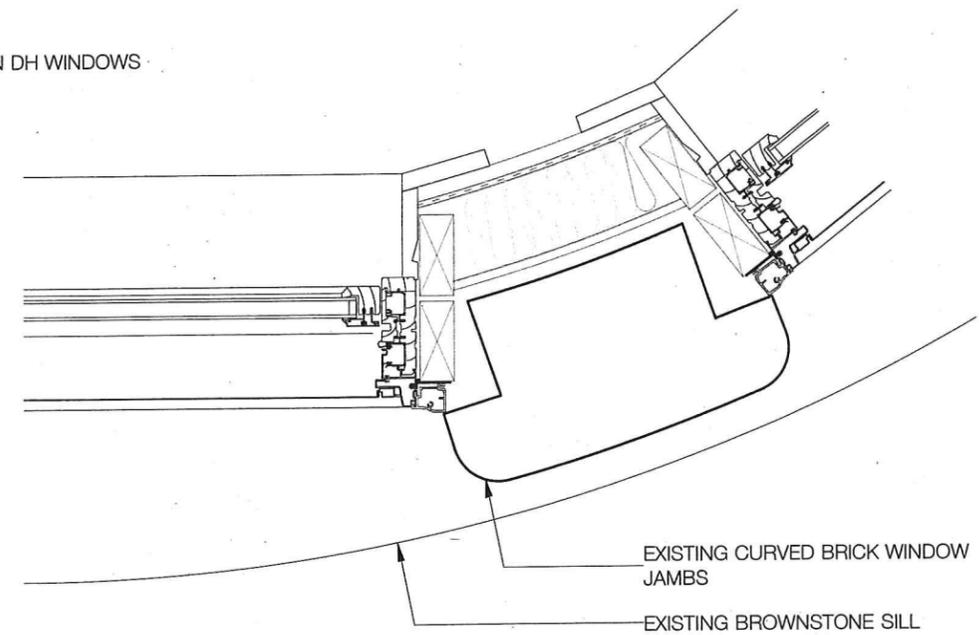
2 SECTION PROPOSED WINDOW "B2"  
Scale: 1 1/2" = 1'-0"

EXISTING BROWNSTONE LINTEL

MARVIN CLAD  
NEXT GENERATION TRANSOM WINDOW  
COLOR: EBONY

MARVIN CLAD  
NEXT GENERATION DH WINDOWS  
COLOR: EBONY

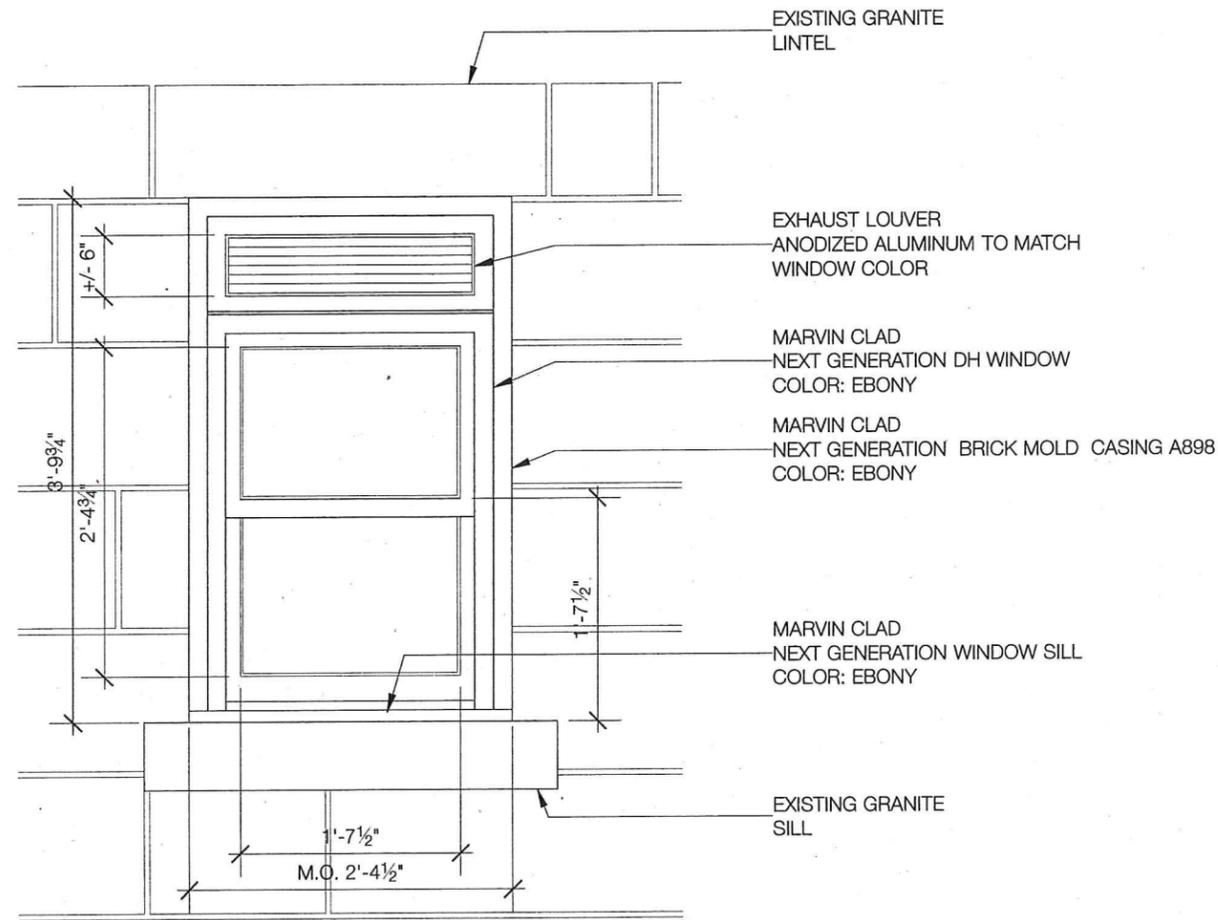
EXISTING BROWNSTONE LINTEL  
FURRED OUT INTERIOR WALL W/  
MINERAL WOOL INSULATION



3 SECTION PROPOSED WINDOW "B1 & B2"  
Scale: 1 1/2" = 1'-0"



owner: 183 LIBERTY LLC	date: 08.15.2016
architect: SIGLER HENDERSON STUDIO LLC	ARC Review 09.09.2016
project: LEANDER BROWN HOUSE 183 Liberty Street, Newburgh, NY 12550	Site Plan Review
Window Details Type "B"	PHONE 845.372.3499
ARC-22	

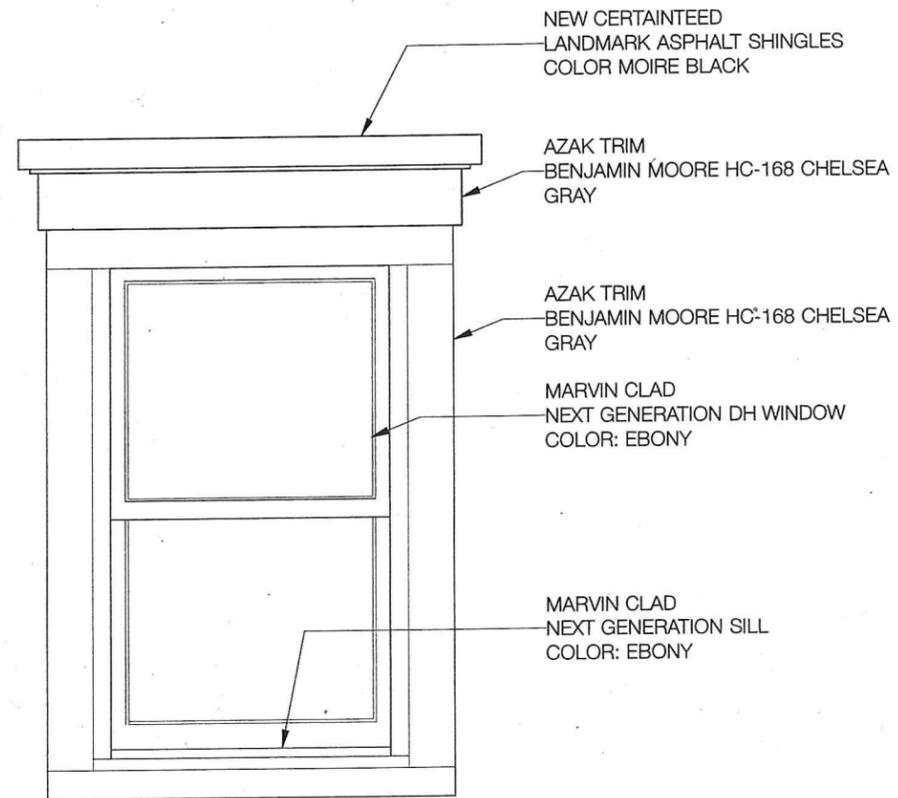


1 ELEVATION PROPOSED WINDOW "C"  
Scale: 3/4" = 1'-0"

**WINDOW TYPE "C":**  
WINDOW IN MASONRY OPENING WITH GRANITE SILL & LINTEL  
B01 & B02

**EXISTING WINDOW "C" NOTES:**

1. B01 & B02 ARE M.O. ONLY.
2. MECH. LOUVER SIZE MAY NEED TO BE INCREASED WITH FINAL MECHANICAL DESIGN.



2 ELEVATION PROPOSED WINDOW "D"  
Scale: 3/4" = 1'-0"

**WINDOW TYPE "D":**  
WINDOW IN WOOD FRAMED MANSARD ROOF  
201, 210, 211 & 212

**EXISTING WINDOW "D" NOTES:**  
1. WINDOWS 210, 211 & 212 ARE IN NEW R.O.



date:  
08.15.2016  
ARC Review  
09.09.2016  
Site Plan Review

owner:  
183 LIBERTY LLC

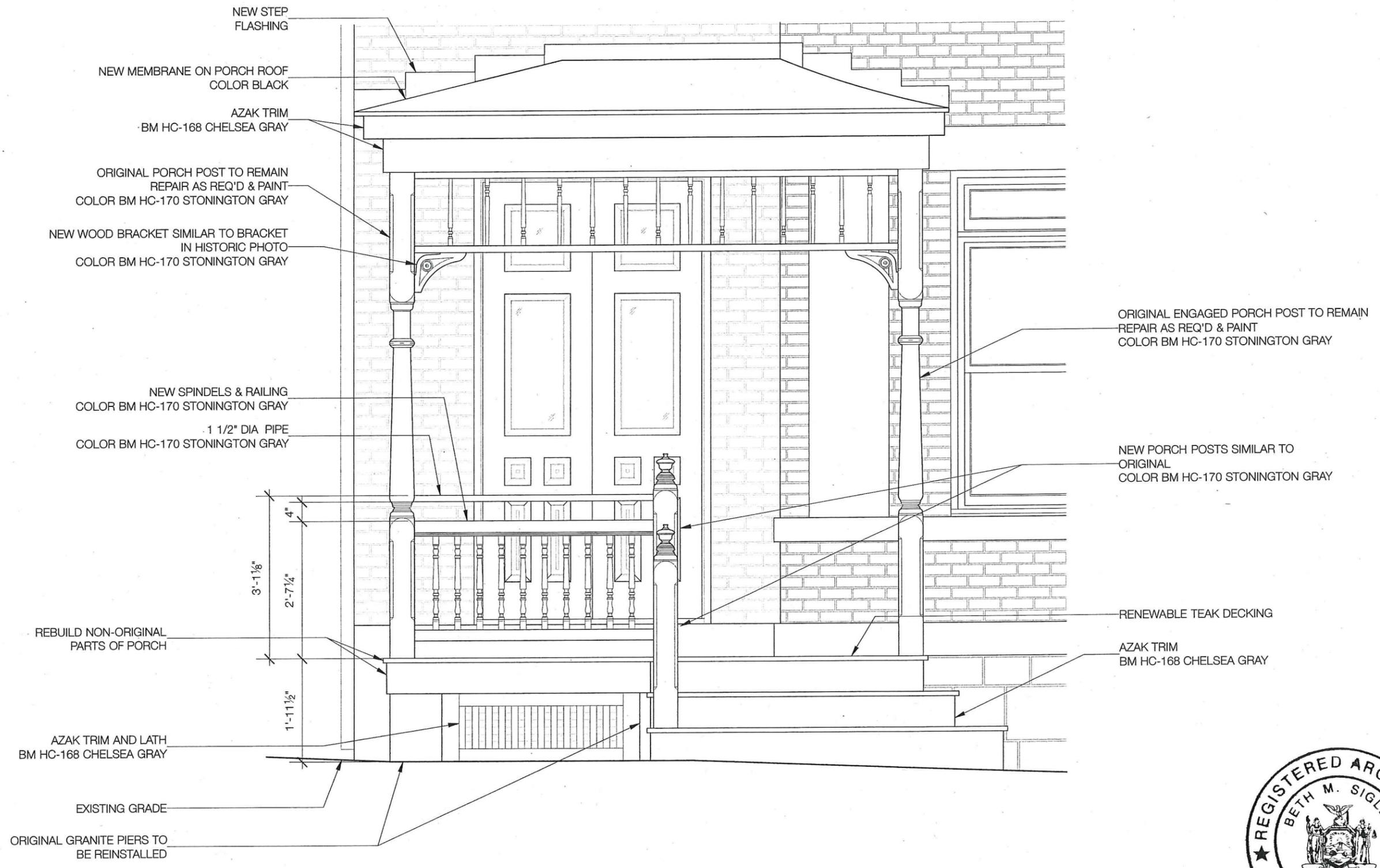
architect:  
SIGLER HENDERSON STUDIO LLC 14 STONE STREET COLD SPRING, NY PHONE 845.372.3499

project:  
**LEANDER BROWN HOUSE**  
183 Liberty Street, Newburgh, NY 12550

Window Details  
Type: "C" & "D"

**ARC-23**

183 LIBERTY STREET  
TAX MAP ID# 30-5-6

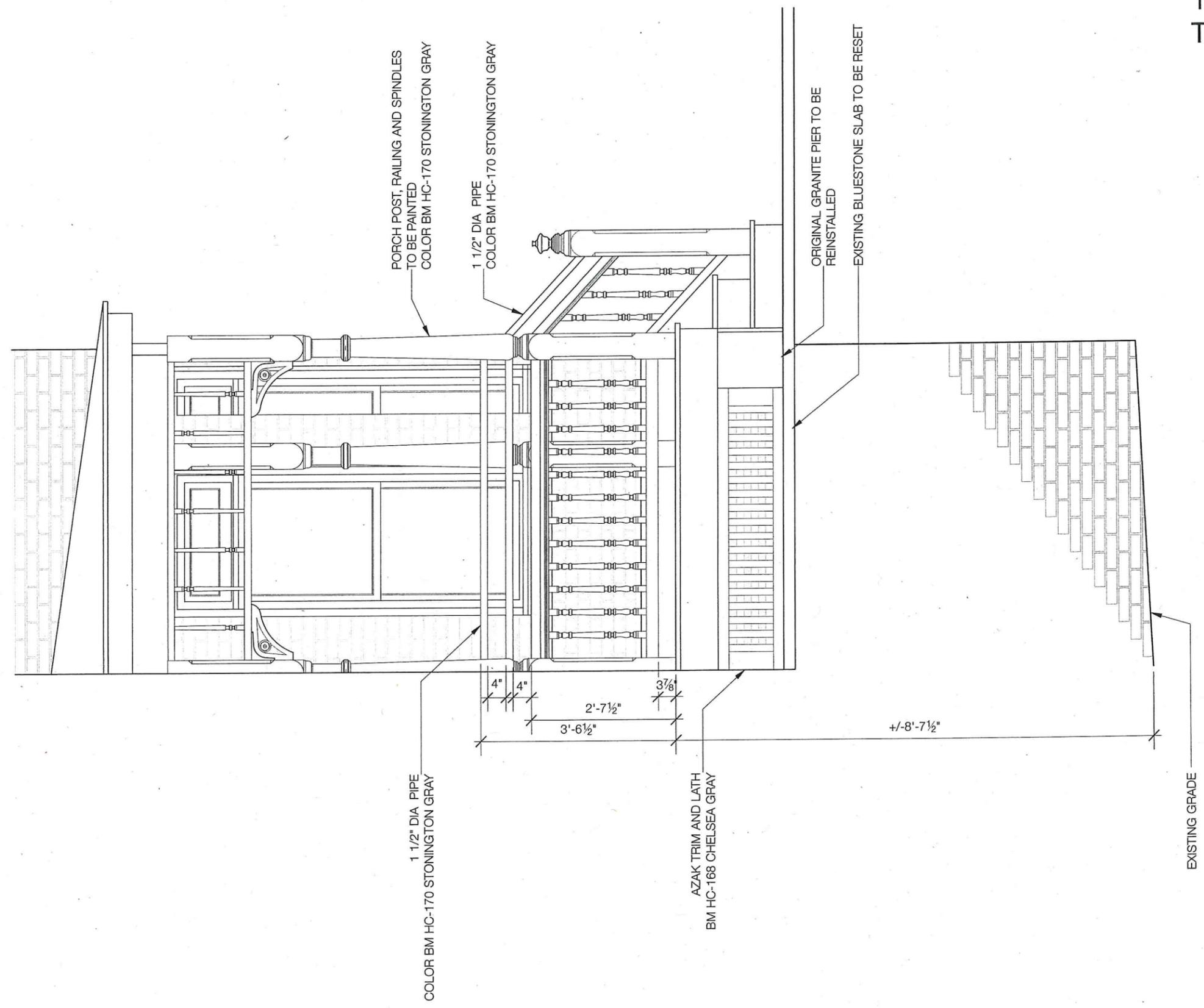


1 PORCH EAST ELEVATION  
Scale: 1/2" = 1'-0"



owner: 183 LIBERTY LLC	date: 08.15.2016
architect: SIGLER HENDERSON STUDIO LLC 14 STONE STREET COLD SPRING, NY PHONE 845.372.3499	ARC Review 09.09.2016
project: LEANDER BROWN HOUSE 183 Liberty Street, Newburgh, NY 12550	Site Plan Review
Porch Details	ARC-24

183 LIBERTY STREET  
TAX MAP ID# 30-5-6



2 PORCH SOUTH ELEVATION  
Scale: 1/2" = 1'-0"



Porch Details	owner: 183 LIBERTY LLC	date: 08.15.2016
project:	architect: SIGLER HENDERSON STUDIO LLC 14 STONE STREET COLD SPRING, NY PHONE 845.372.3499	ARC Review 09.09.2016
LEANDER BROWN HOUSE 183 Liberty Street, Newburgh, NY 12550	PHONE 845.372.3499	Site Plan Review
ARC-25		

183 LIBERTY STREET  
TAX MAP ID# 30-5-6

date: 09.09.2016  
Site Plan Review

owner: 183 LIBERTY LLC 68N ROCHDALE AVE ROOSEVELT, NJ 08555  
architect: SIGLER HENDERSON STUDIO LLC 14 STONE STREET COLD SPRING, NY 10516 PHONE 845.372.3499  
sprinkler engineer: JOHN D. FULLER P.E. SULLIVAN FIRE PROTECTION 16 RAILROAD PLAZA S. FALLSBURG NY

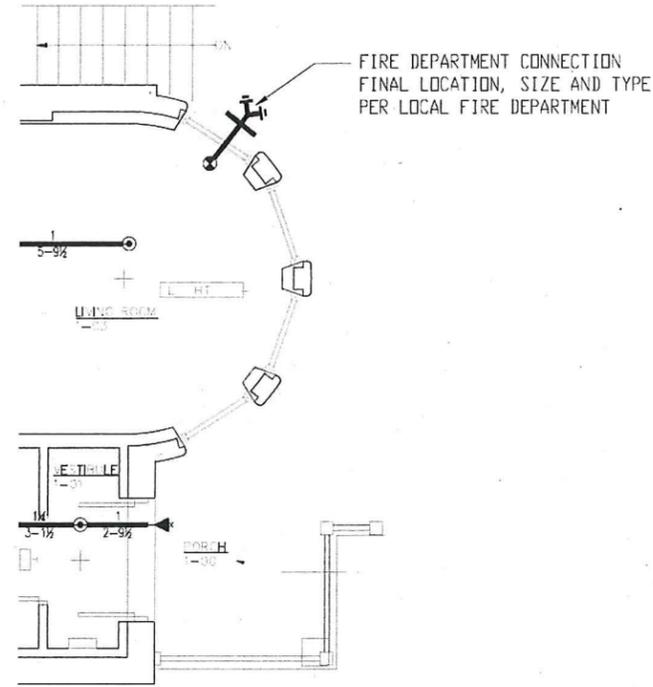
project: LEANDER BROWN HOUSE  
183 Liberty Street, Newburgh, NY 12550

Sprinkler Details

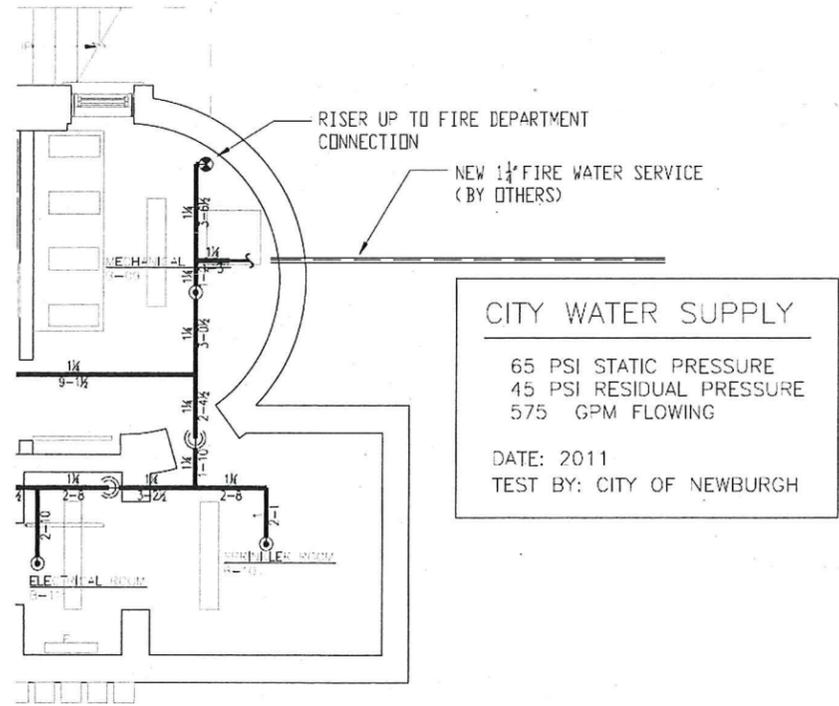
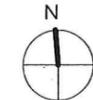
SP-01

DESIGN CRITERIA

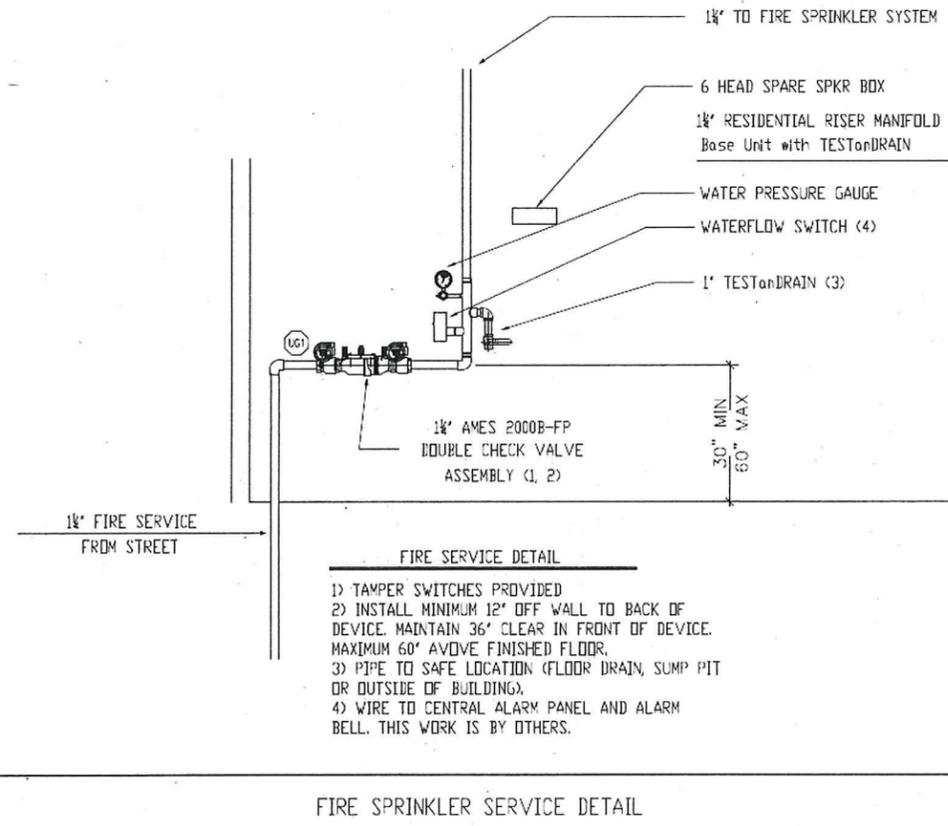
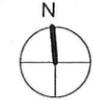
1. THE FIRE SUPPRESSION SYSTEM SHOWN HERE HAS BEEN DESIGNED IN ACCORDANCE WITH THE NEW YORK STATE BUILDING CODE 2010 & NFPA 13R, 2010.
2. THE BUILDING HAS AN OCCUPANCY CLASS OF 'R2 - RESIDENTIAL' ACCORDING TO BUILDING CODE.
3. THE NFPA 13 OCCUPANCY HAZARD RATING IS RESIDENTIAL.
4. MAXIMUM RESIDENTIAL SPRINKLER SPACING IS 256 SQ.FT. PER HEAD.
5. SPRINKLERS MAY BE OMITTED FROM THE FOLLOWING:
  - A) BATHROOMS WHERE THE AREA DOES NOT EXCEED 55 SQ. FT. AND THE WALLS AND CEILINGS, INCLUDING BEHIND FIXTURES, ARE OF NON-COMBUSTIBLE OR LIMITED COMBUSTIBLE MATERIALS PROVIDING A 15 MINUTE THERMAL BARRIER.
  - B) CLOTHES CLOSETS, LINEN CLOSETS, AND PANTRIES WITHIN THE DWELLING UNITS WHERE THE AREA OF THE SPACE DOES NOT EXCEED 24 SQ. FT. AND THE LEAST DIMENSION DOES NOT EXCEED 3 FT AND THE WALLS AND CEILINGS ARE SURFACED WITH NON-COMBUSTIBLE OR LIMITED COMBUSTIBLE MATERIALS AS DEFINED BY NFPA 220
  - C) ANY PORCHES, BALCONIES, CORRIDORS, AND STAIRS THAT ARE OPEN AND ATTACHED.
  - D) ATTICS, PENTHOUSE EQUIPMENT ROOMS, CRAWL SPACES, FLOOR/CEILING SPACES, ELEVATOR SHAFTS, AND OTHER CONCEALED SPACES THAT ARE NOT USED OR INTENDED FOR LIVING PURPOSES OR STORAGE.
  - E) CLOSETS ON EXTERIOR BALCONIES REGARDLESS OF SIZE AS LONG AS THERE ARE NO DOORS OR UNPROTECTED PENETRATIONS FROM THE CLOSET DIRECTLY INTO THE DWELLING UNIT.



1 PARTIAL FIRST FL PLAN



2 PARTIAL BASEMENT PLAN





183 LIBERTY STREET

**A HISTORIC PHOTO**

Historic photo taken circa 1930



Historic Photographs

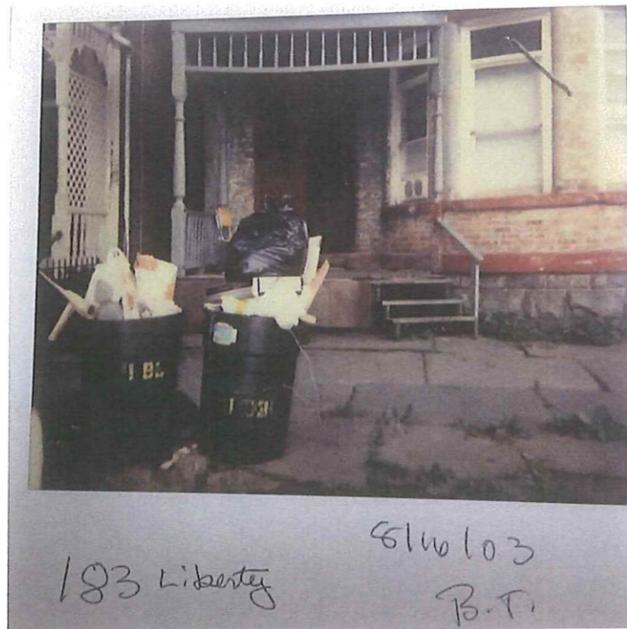
project:  
**LEANDER BROWN HOUSE**  
 183 Liberty Street, Newburgh, NY 12550

**ARC-06**

owner:  
 183 LIBERTY LLC

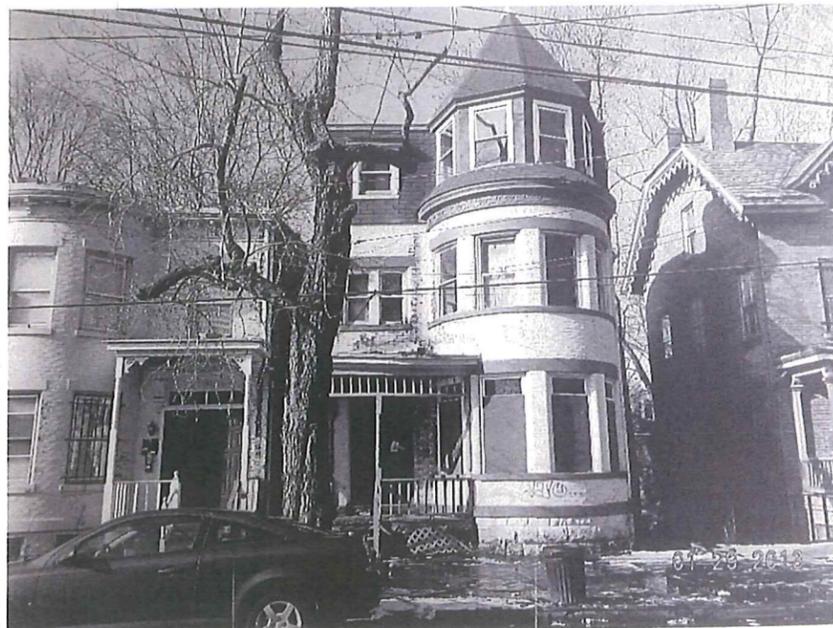
architect:  
 SIGLER HENDERSON STUDIO LLC 14 STONE STREET COLD SPRING, NY PHONE 845.372.3499

date:  
 09.09.2016  
 Site Plan Review



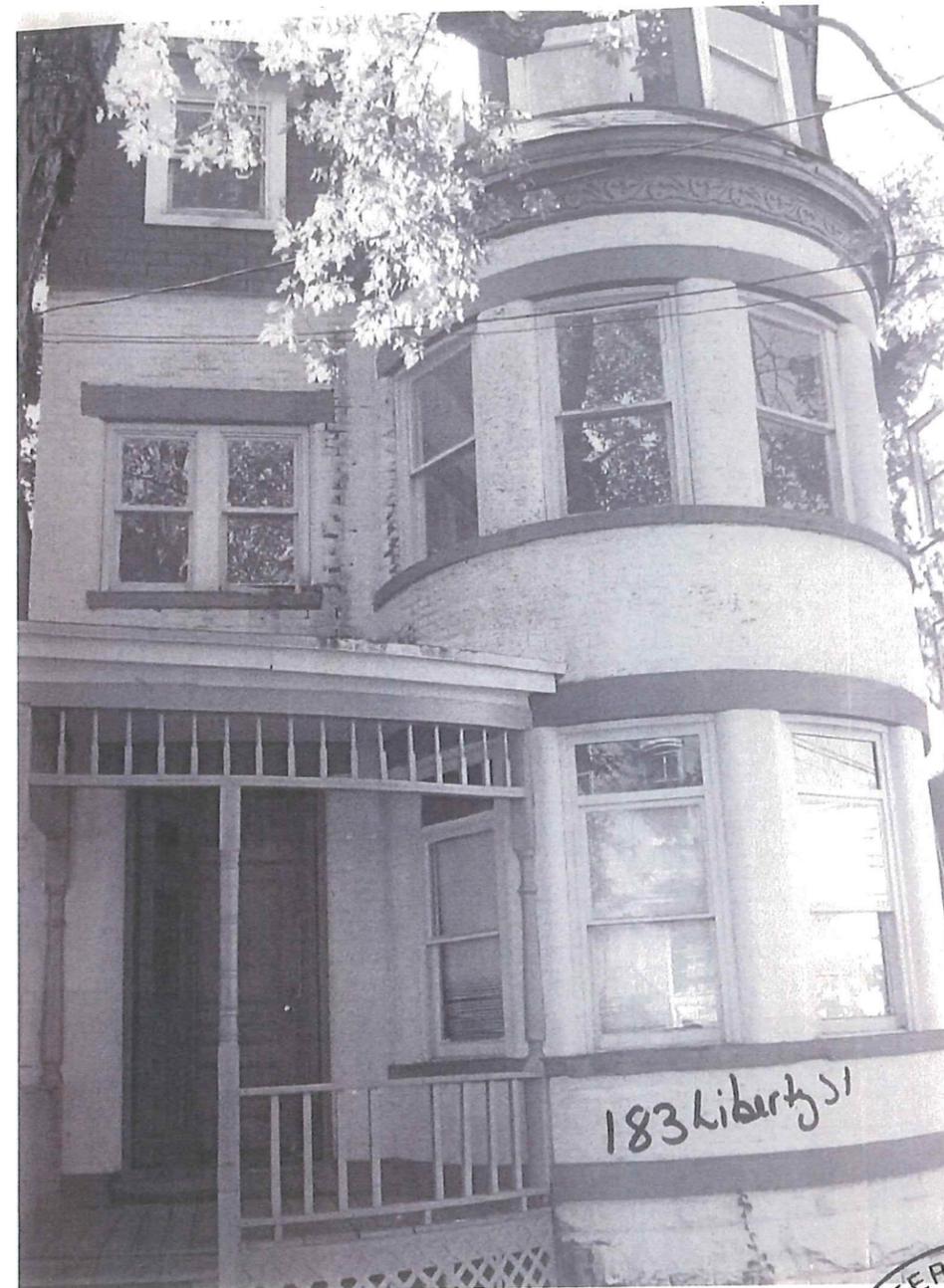
**B HISTORIC PHOTO**

Photo taken 08.16.2003



**C HISTORIC PHOTO**

Photo taken 01.29.2013



**D HISTORIC PHOTO**

Photo taken between 2003 and 2013



owner: 183 LIBERTY LLC	date: 09.09.2016 Site Plan Review
project: <b>LEANDER BROWN HOUSE</b> 183 Liberty Street, Newburgh, NY 12550	architect: SIGLER HENDERSON STUDIO LLC 14 STONE STREET COLD SPRING, NY PHONE 845.372.3499
Historic Photographs	<b>ARC-07</b>



001 EAST FACADE



002 EAST FACADE LOOKING NW



Current Photographs

project  
**LEANDER BROWN HOUSE**  
 183 Liberty Street, Newburgh, NY 12550

**ARC-08**

owner:  
 183 LIBERTY LLC

architect:  
 SIGLER HENDERSON STUDIO LLC 14 STONE STREET COLD SPRING, NY PHONE 845.372.3499

date:  
 08.15.2016  
 ARC Review  
 09.09.2016  
 Site Plan Review



003 EAST FACADE LOOKING SW



004 SOUTH FACADE LOOKING NW



date:  
08.15.2016  
AFC Review  
09.09.2016  
Site Plan Review

owner:  
183 LIBERTY LLC  
architect:  
SIGLER HENDERSON STUDIO LLC 14 STONE STREET COLD SPRING, NY PHONE 845.372.3499

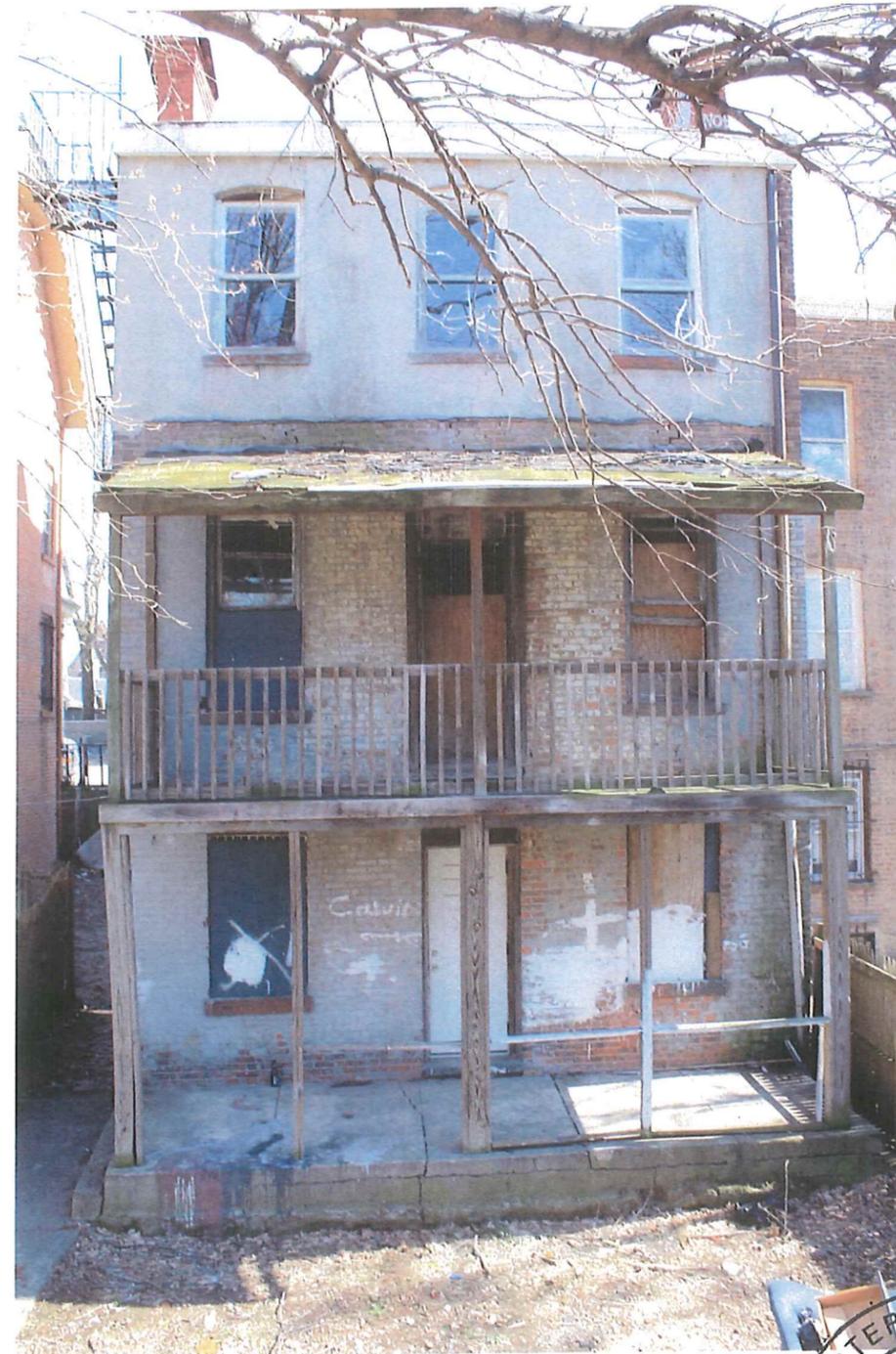
project:  
**LEANDER BROWN HOUSE**  
183 Liberty Street, Newburgh, NY 12550

Current: Photographs

ARC-09



020 NORTH ELEVATION 3-SIDED BAY



024 WEST FACADE



Current Photographs

project:  
**LEANDER BROWN HOUSE**  
 183 Liberty Street, Newburgh, NY 12550

**ARC-13**

owner:  
 183 LIBERTY LLC

architect:  
 SIGLER HENDERSON STUDIO LLC 14 STONE STREET COLD SPRING, NY PHONE 845.372.3499

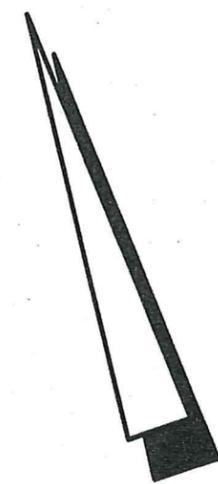
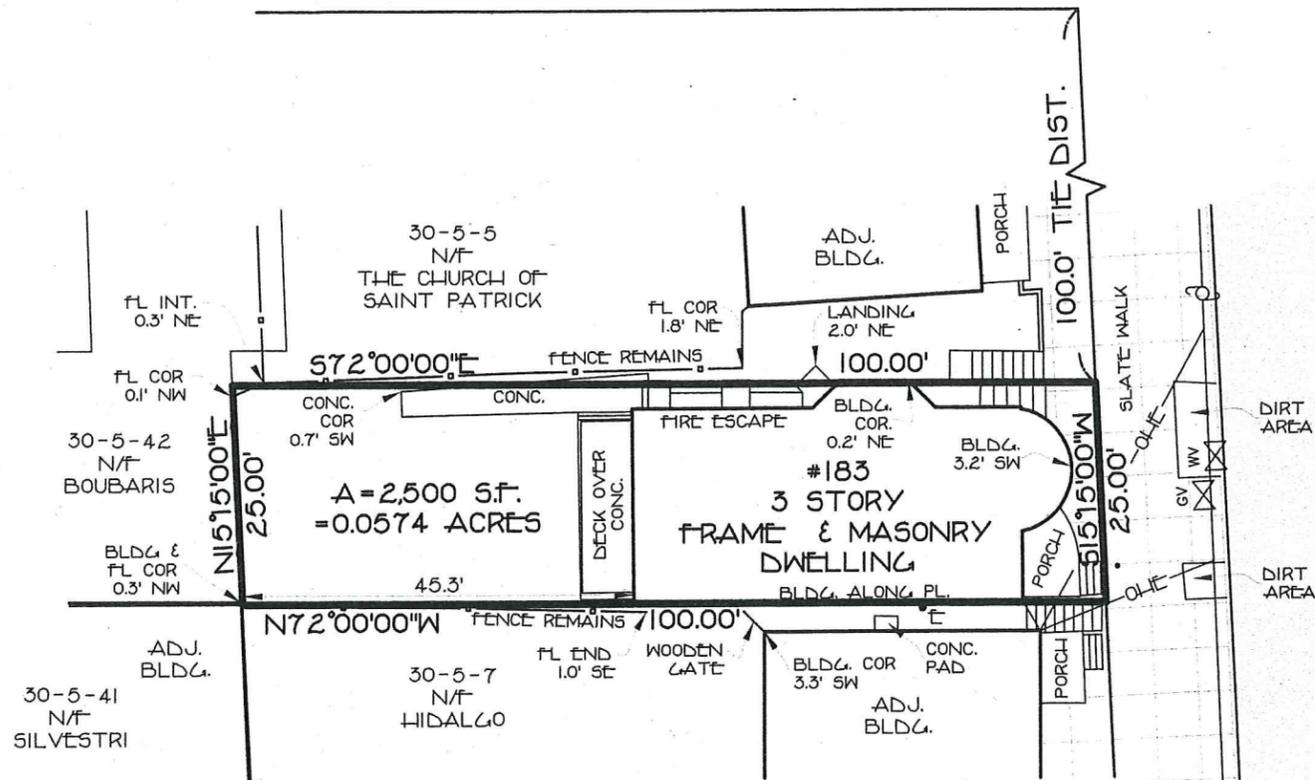
date:  
 08.15.2016  
 ARC Review  
 09.09.2016  
 Site Plan Review

TAX MAP REFERENCE: SECT. 30, BLK. 5, LOT 6

**REFERENCES:**

- L. 12534, P. 1508
- L. 1142, P. 443
- L. 410, P. 190
- L. 1862, P. 565
- L. 12488, P. 72
- L. 12875, P. 1432
- L. 11432, P. 822
- L. 13988, P. 1860
- L. 13981, P. 858
- L. 11971, P. 697
- L. 12760, P. 487
- L. 4723, P. 29
- L. 13426, P. 1274
- L. 11568, P. 752

# FIRST STREET



**CERTIFIED TO:**

- 183 LIBERTY LLC
- STEWART TITLE INSURANCE COMPANY (TITLE NO. RMF-11508)



ALL UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

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WILLIAM D. YOUNGBLOOD, P.L.L.C. # 50466 ©

SURVEY OF  
183 LIBERTY STREET  
LOCATED IN  
CITY OF NEWBURGH  
ORANGE COUNTY, NEW YORK

REV: ADD CERTS - 2/10/2016

<p><b>SPARACO &amp; YOUNGBLOOD, PLLC</b> CIVIL ENGINEERING * LAND SURVEYING SITE PLANNING 18 NORTH MAIN STREET P.O. BOX 818 HARRIMAN, N.Y. 10926 TEL: (845) 782-8543 FAX: (845) 782-5901 SPARACO.STEVE@SELSNY.COM WYLS1@GMAIL.COM</p>	FILE #	SY-1235
	DATE	FEB. 2, 2016
	SCALE	1"=20'

SY-1235